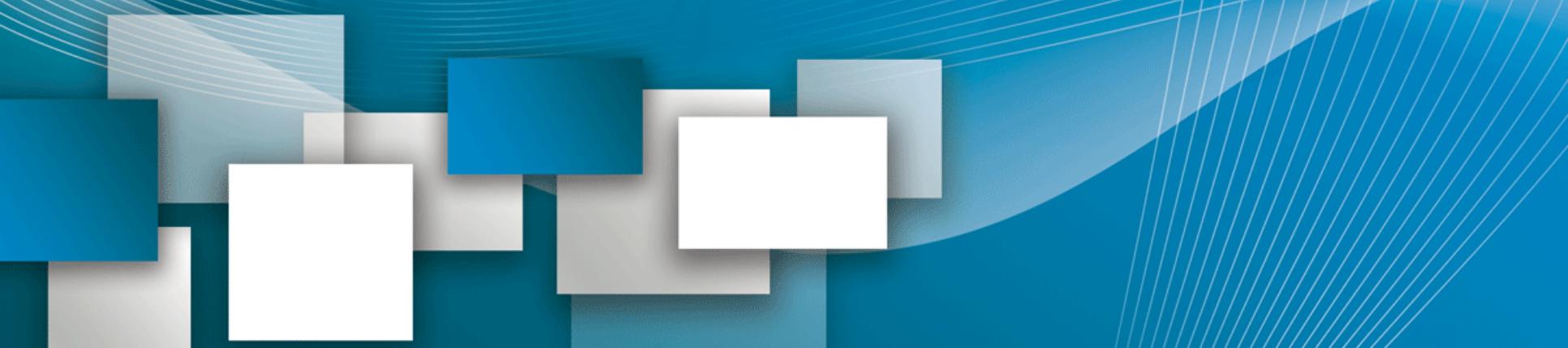


2015 IRC[®] Performing Residential Plan Reviews

Based on the 2015 International
Residential Code[®]

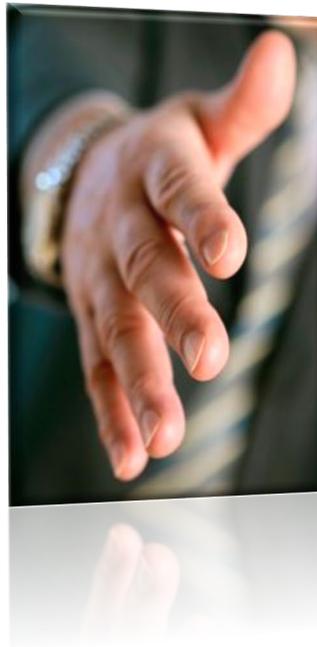


Objectives

- Upon completion of this course you will be better able to:
 - Perform steps in completing a residential plan review.
 - Apply the 2015 IRC to the plan review process.
 - Identify where minimum code requirements have not been met and cite applicable code sections.



Welcome



- Meet the instructor
- Participant introductions
- Why are you here?

William H. (Bill) Hudson, CBO, MCP

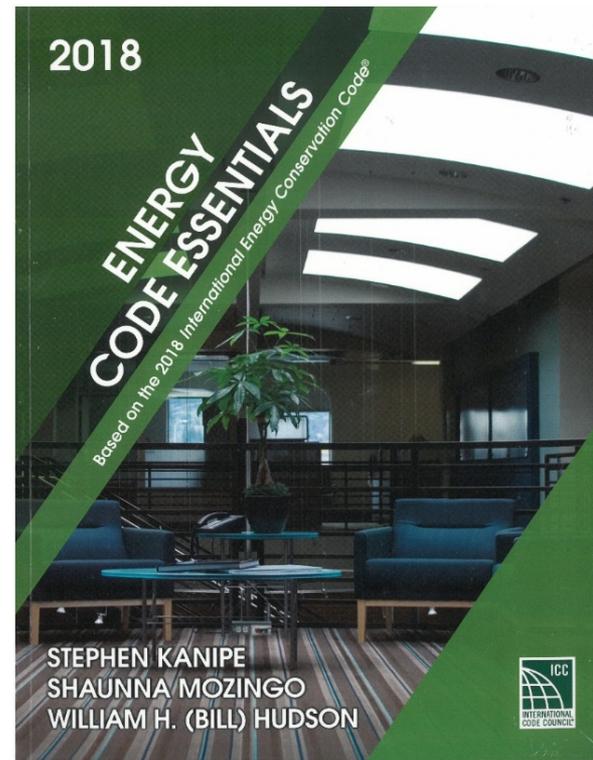
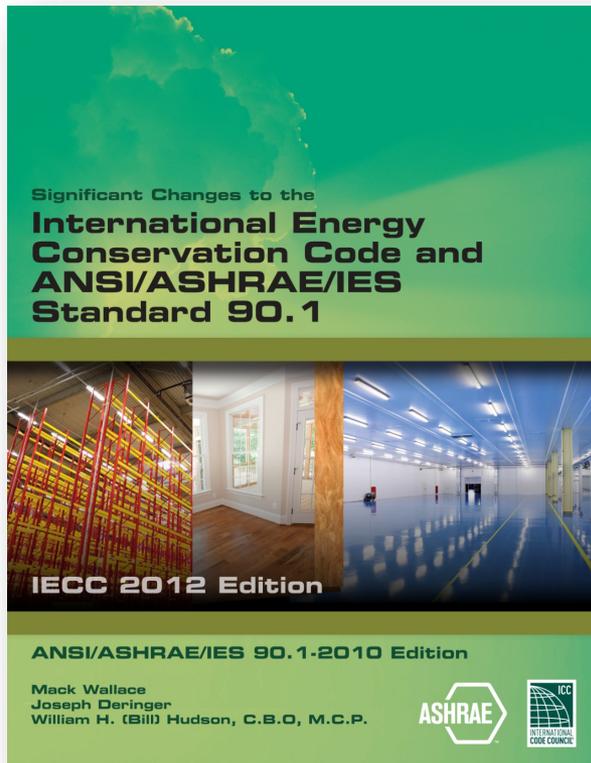


William H. (Bill) Hudson, CBO, MCP



**Standards Technical Panels:
STP 916, STP 1040 & STP 1715**





Basics

Exits

Toilet Rooms

Breaks

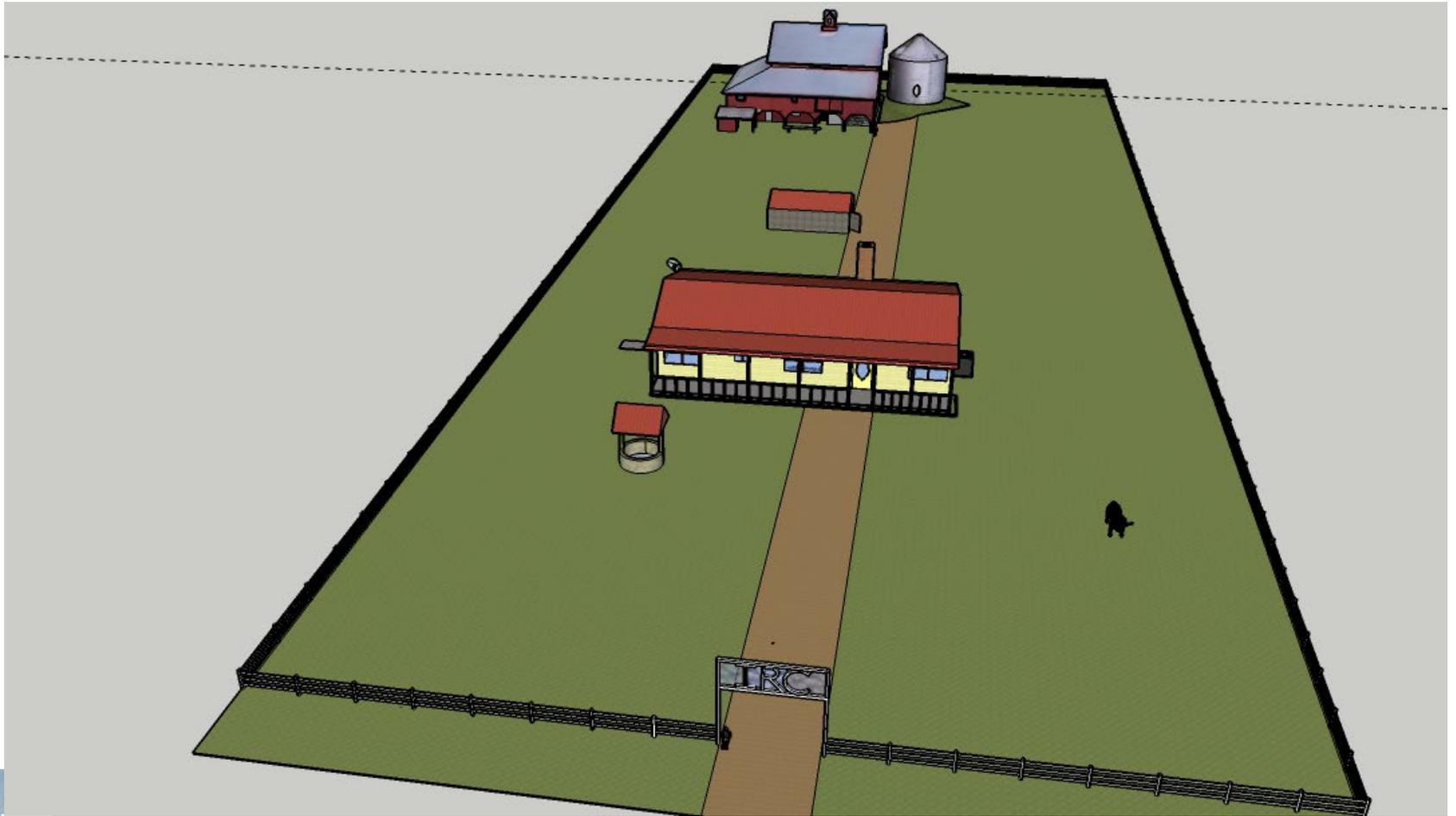
Lunch

Phones

Questions

Participation

WELCOME TO THE IRC RANCH



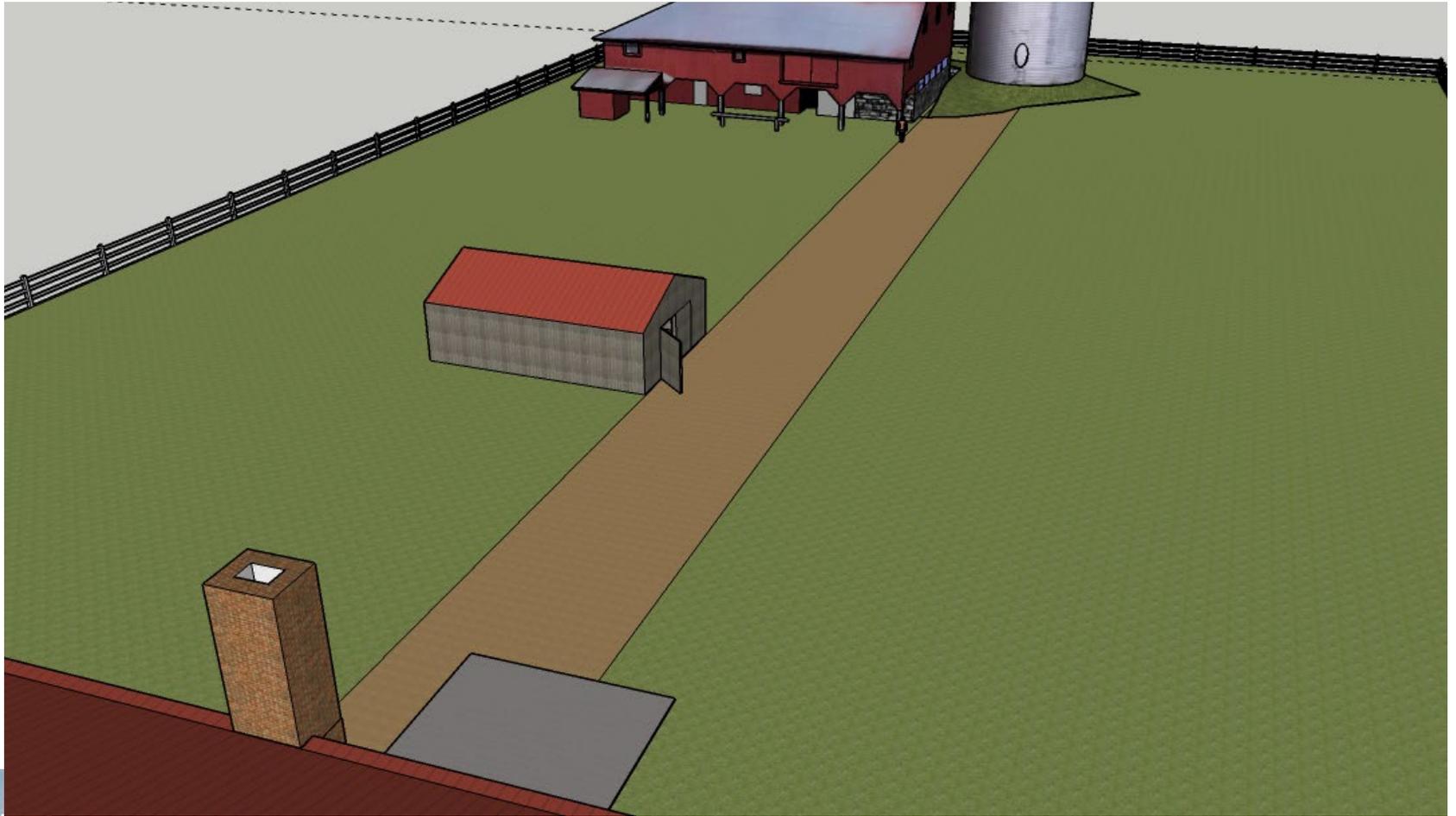
THE GATE AND FENCE

CHAPTER 1



THE TOOL SHED

CHAPTER 2



THE RANCH HOUSE

CHAPTER 3



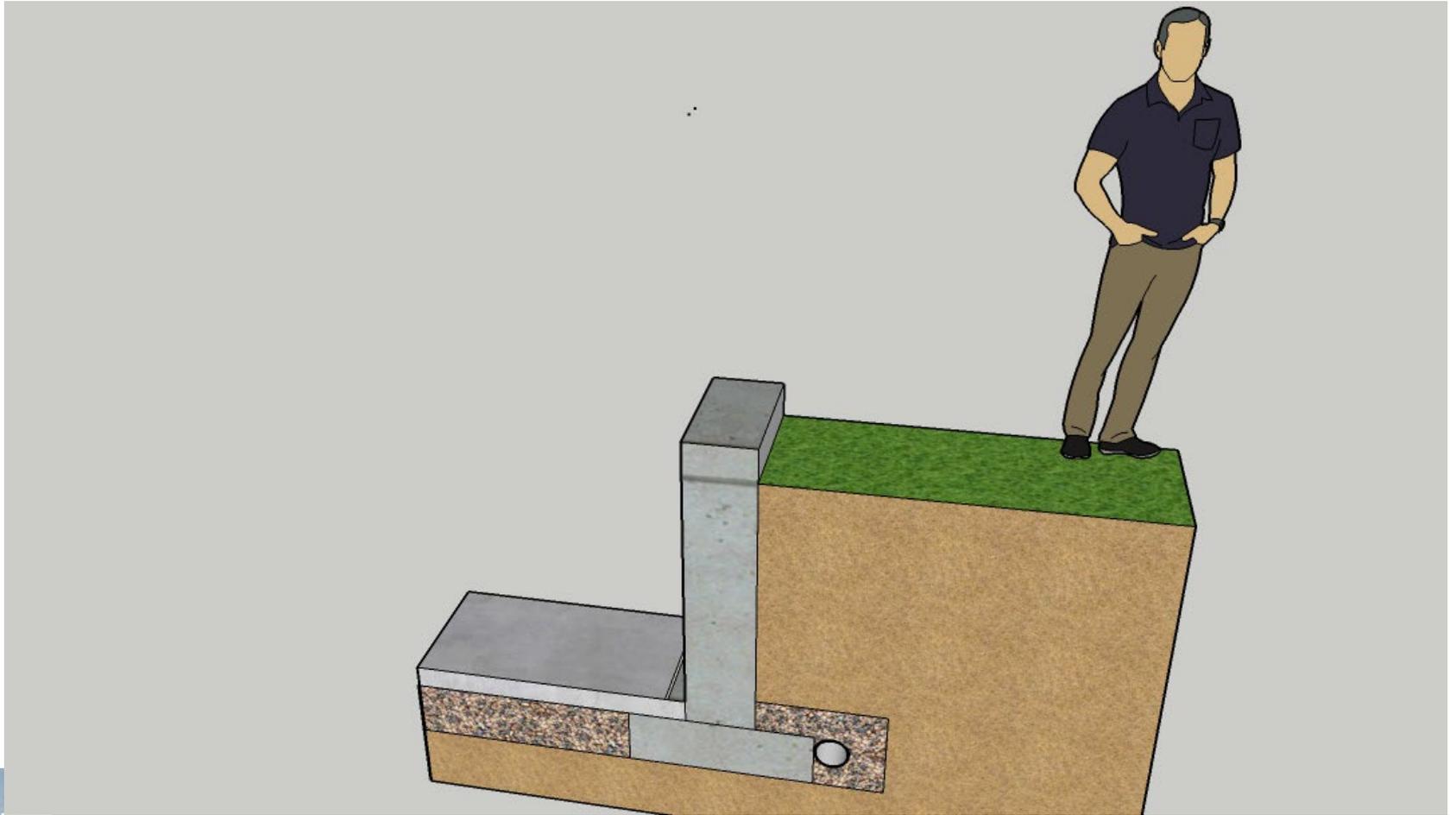
THE BARN

CHAPTERS 4-43



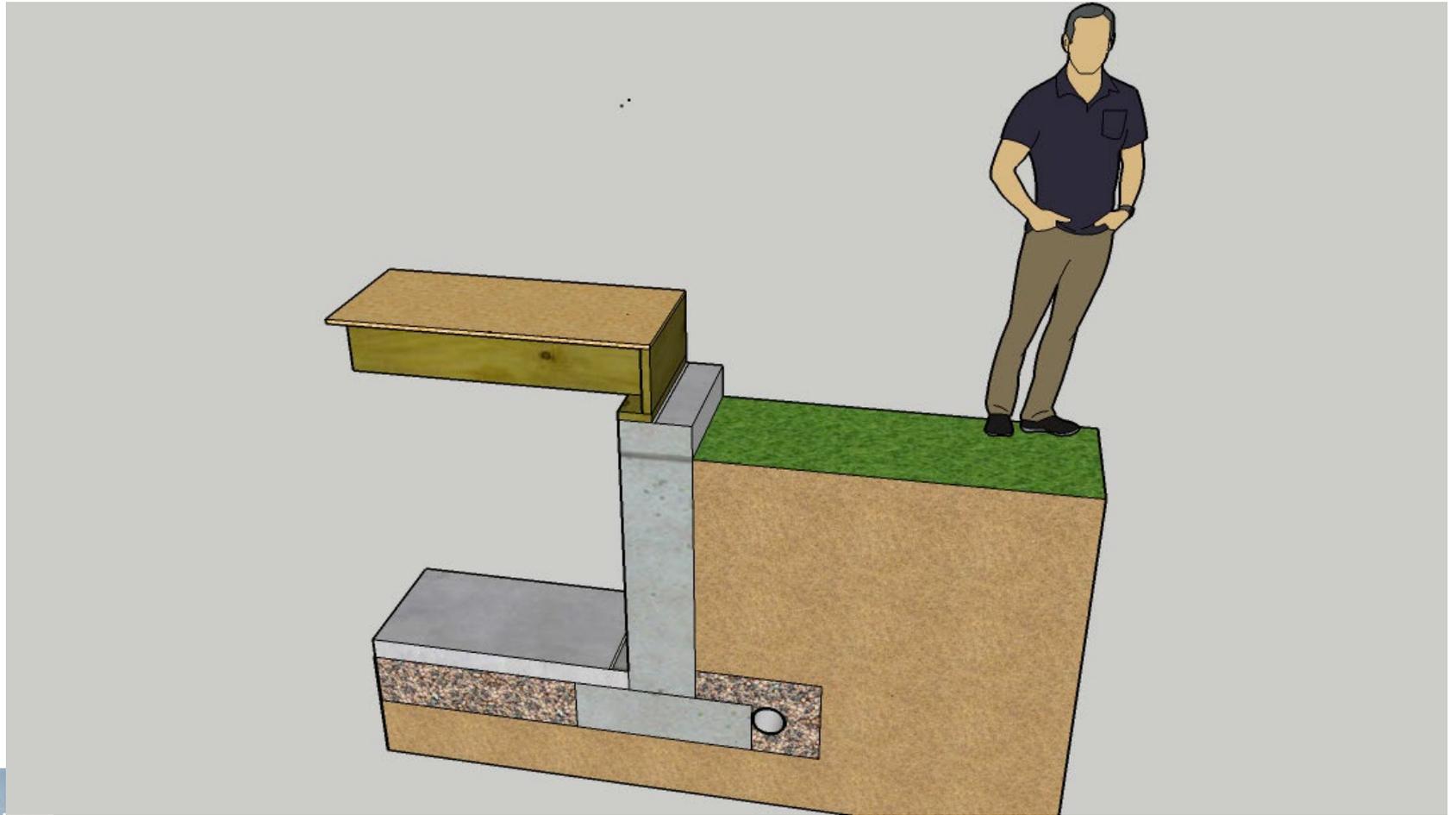
FOUNDATIONS

CHAPTER 4



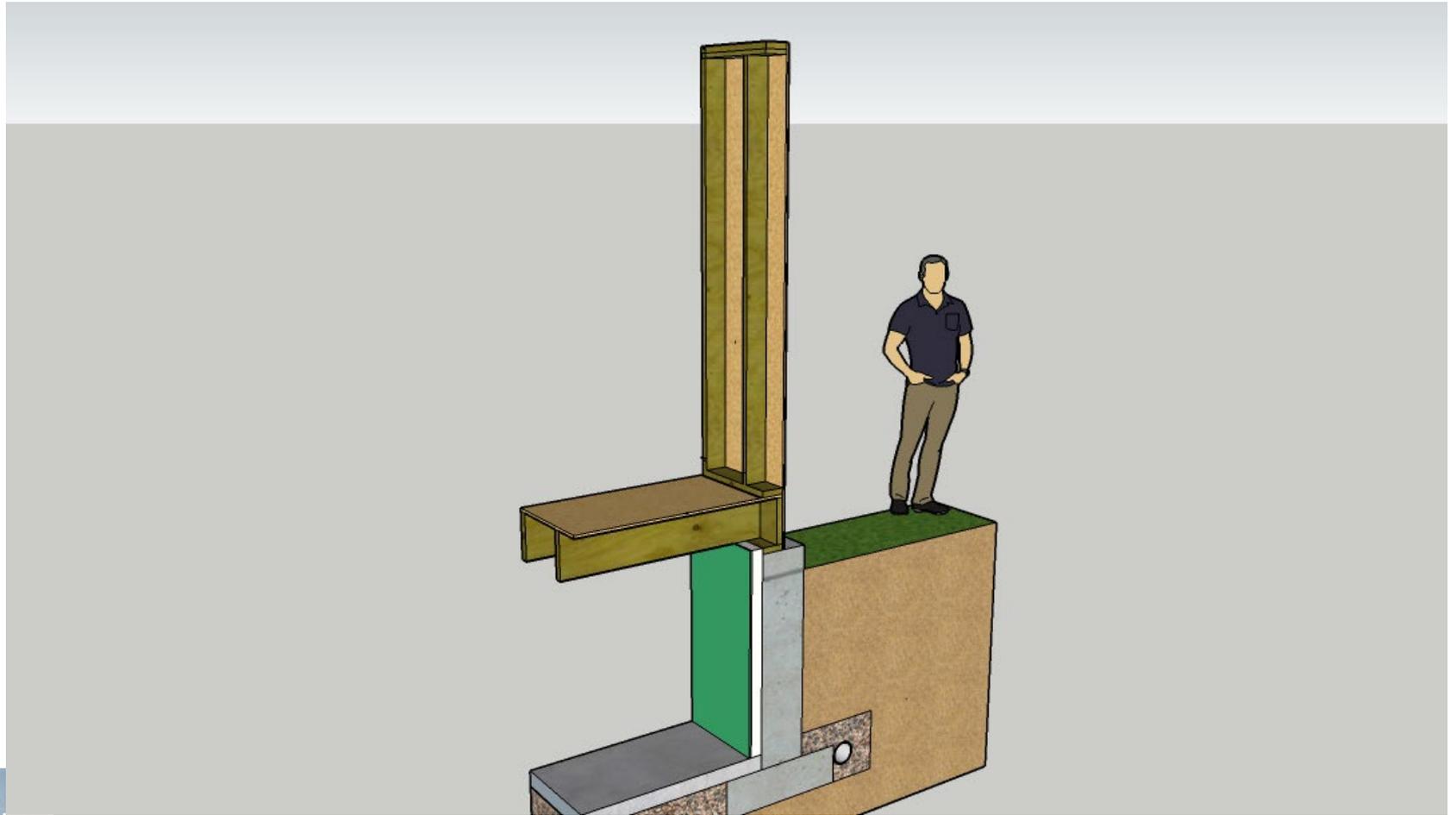
FLOORS

CHAPTER 5

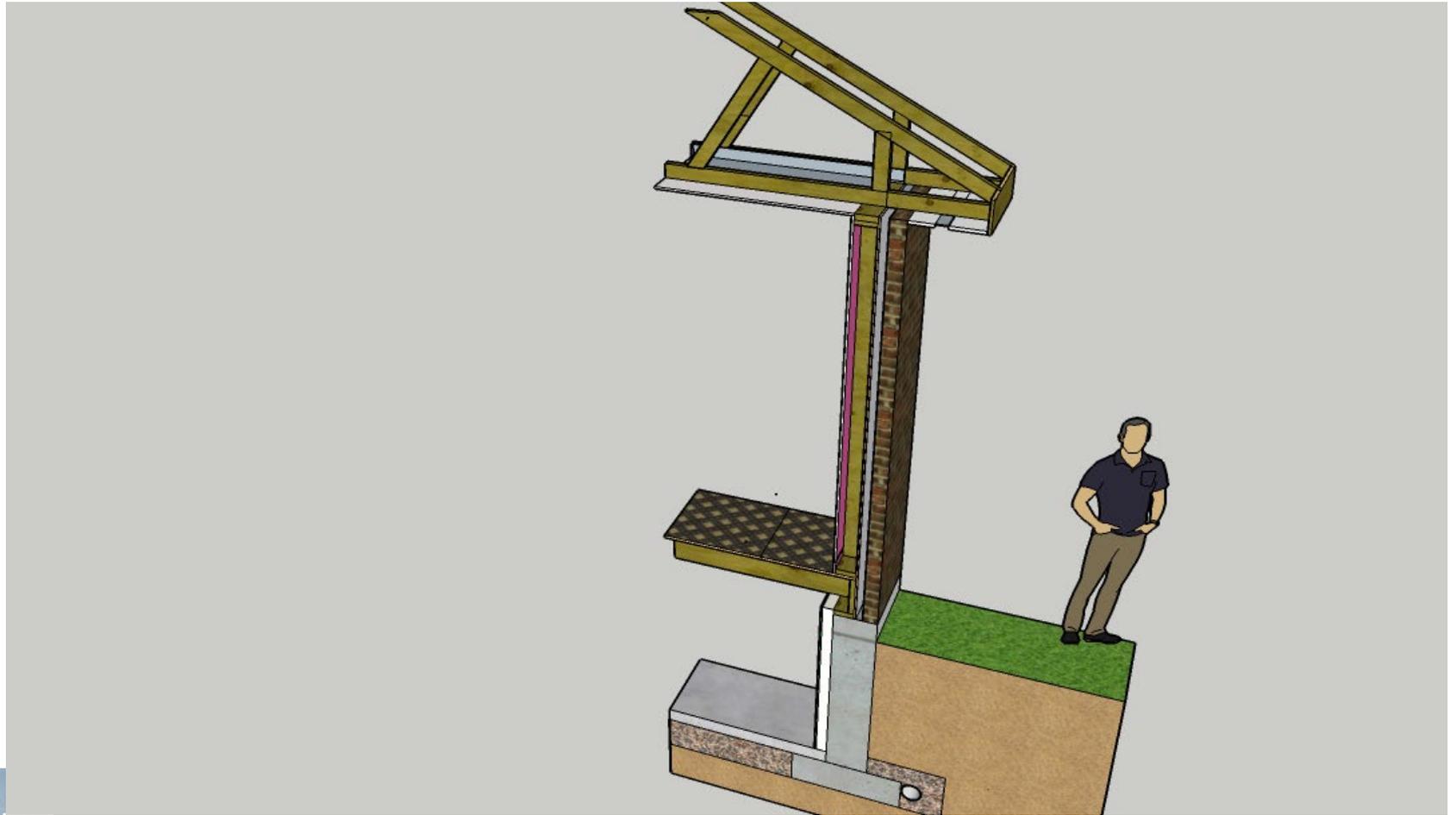


WALL CONSTRUCTION

CHAPTER 6

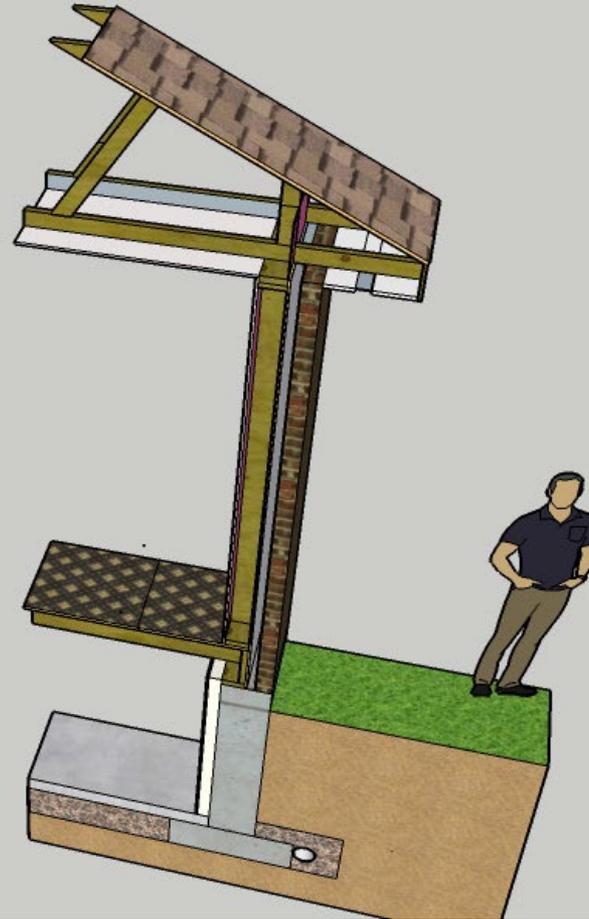


ROOF-CEILING CONSTRUCTION



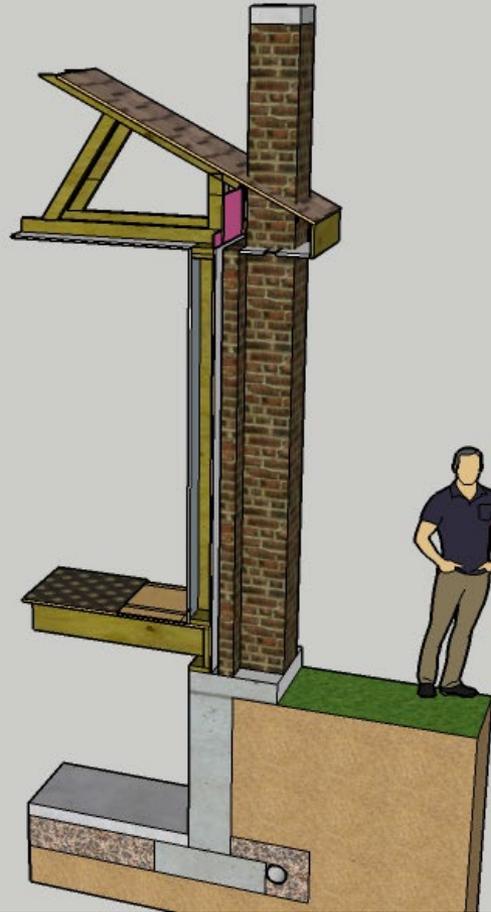
ROOF ASSEMBLIES

CHAPTER 9



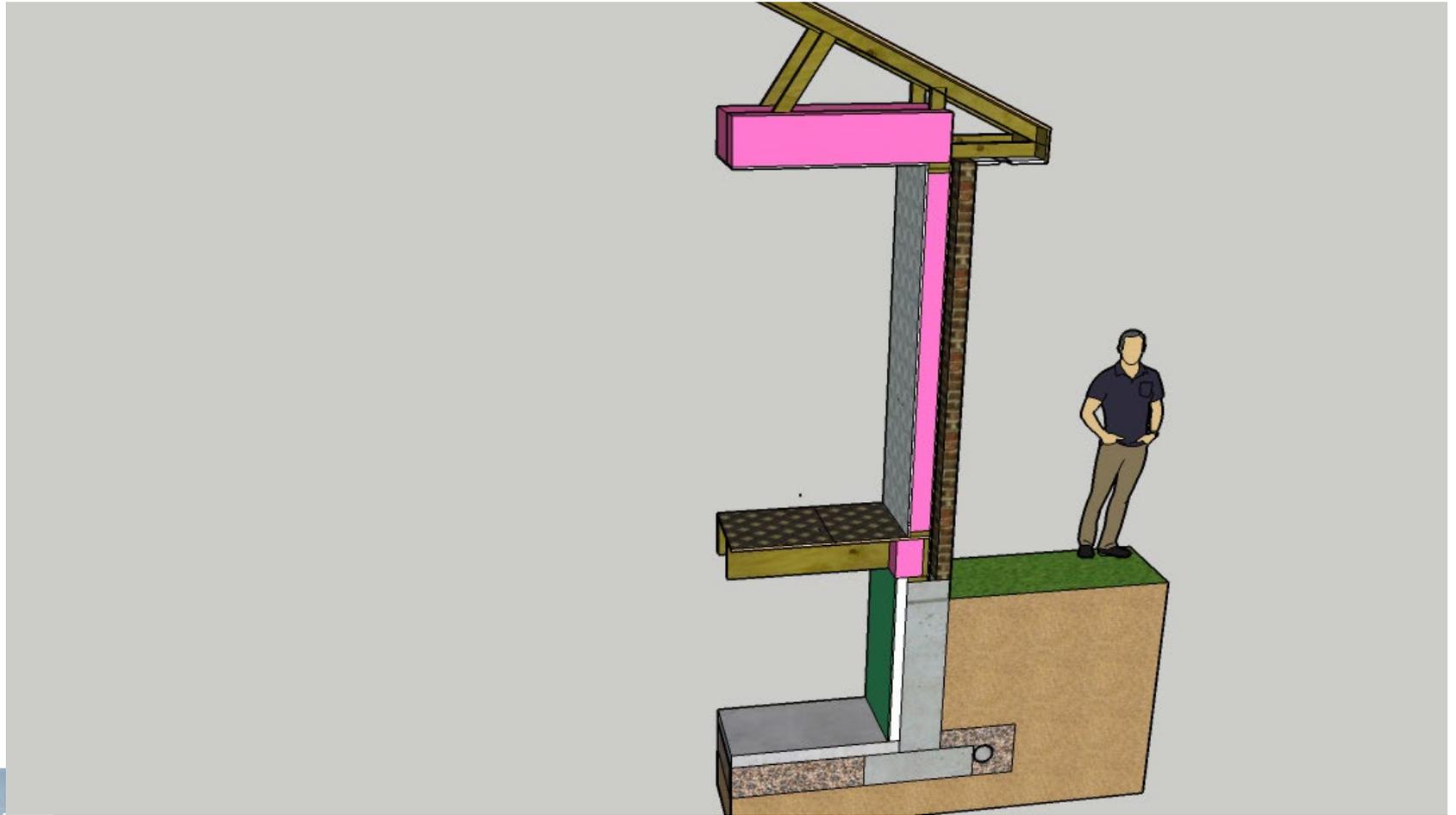
CHIMNEYS AND FIREPLACES

CHAPTER 10



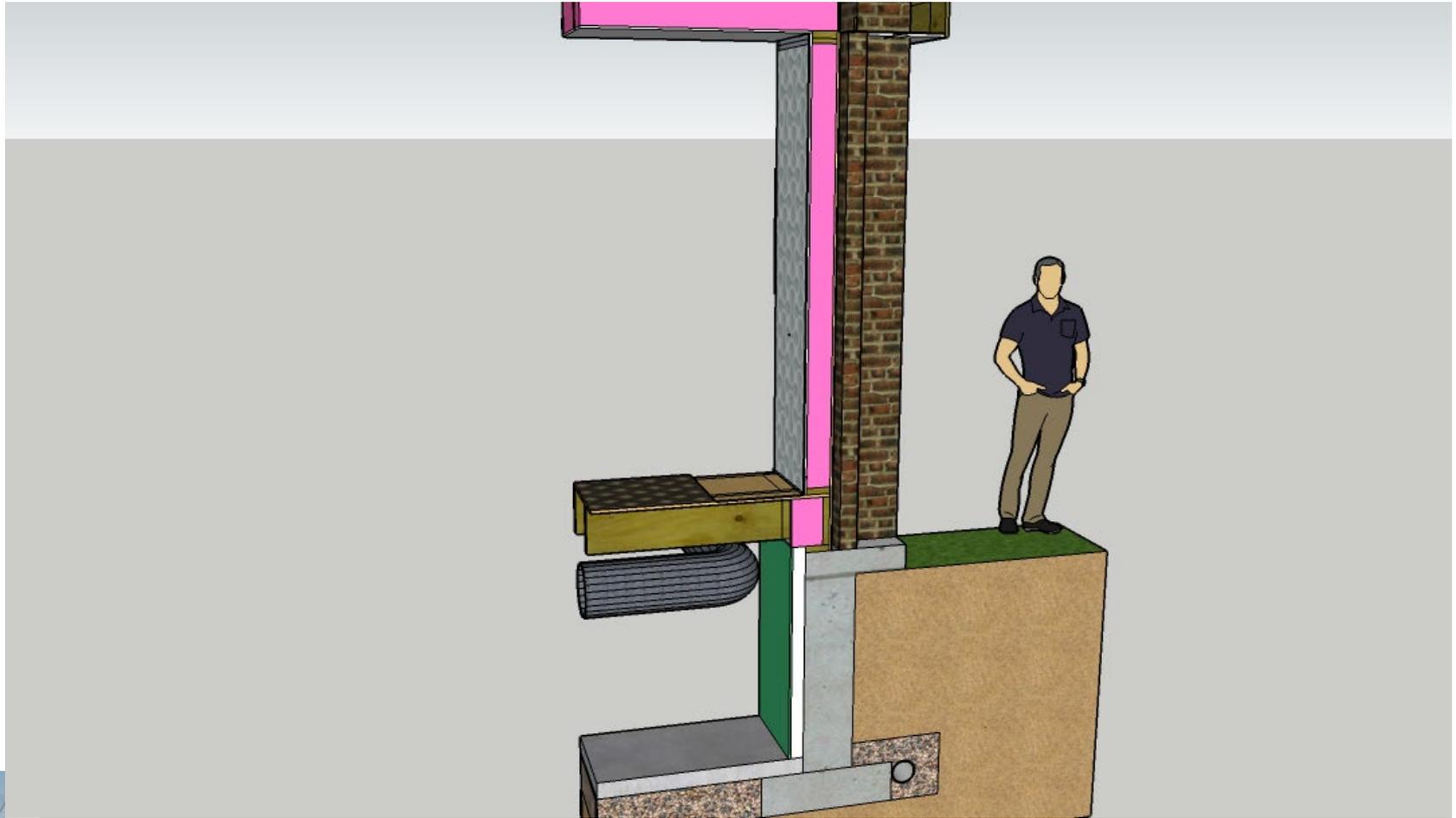
ENERGY EFFICIENCY

CHAPTER 11



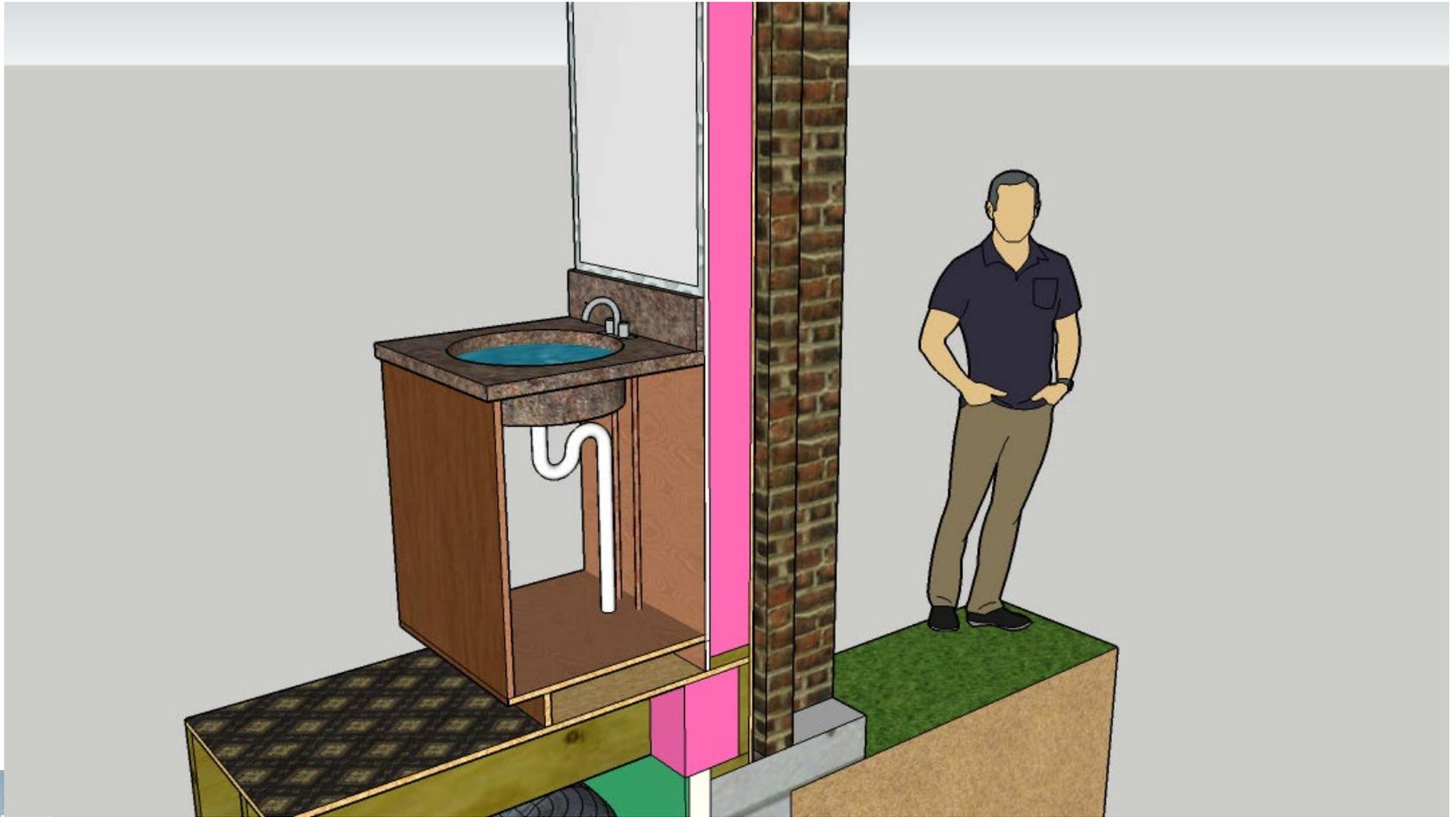
MECHANICAL & FUEL GAS

CHAPTERS 12-24

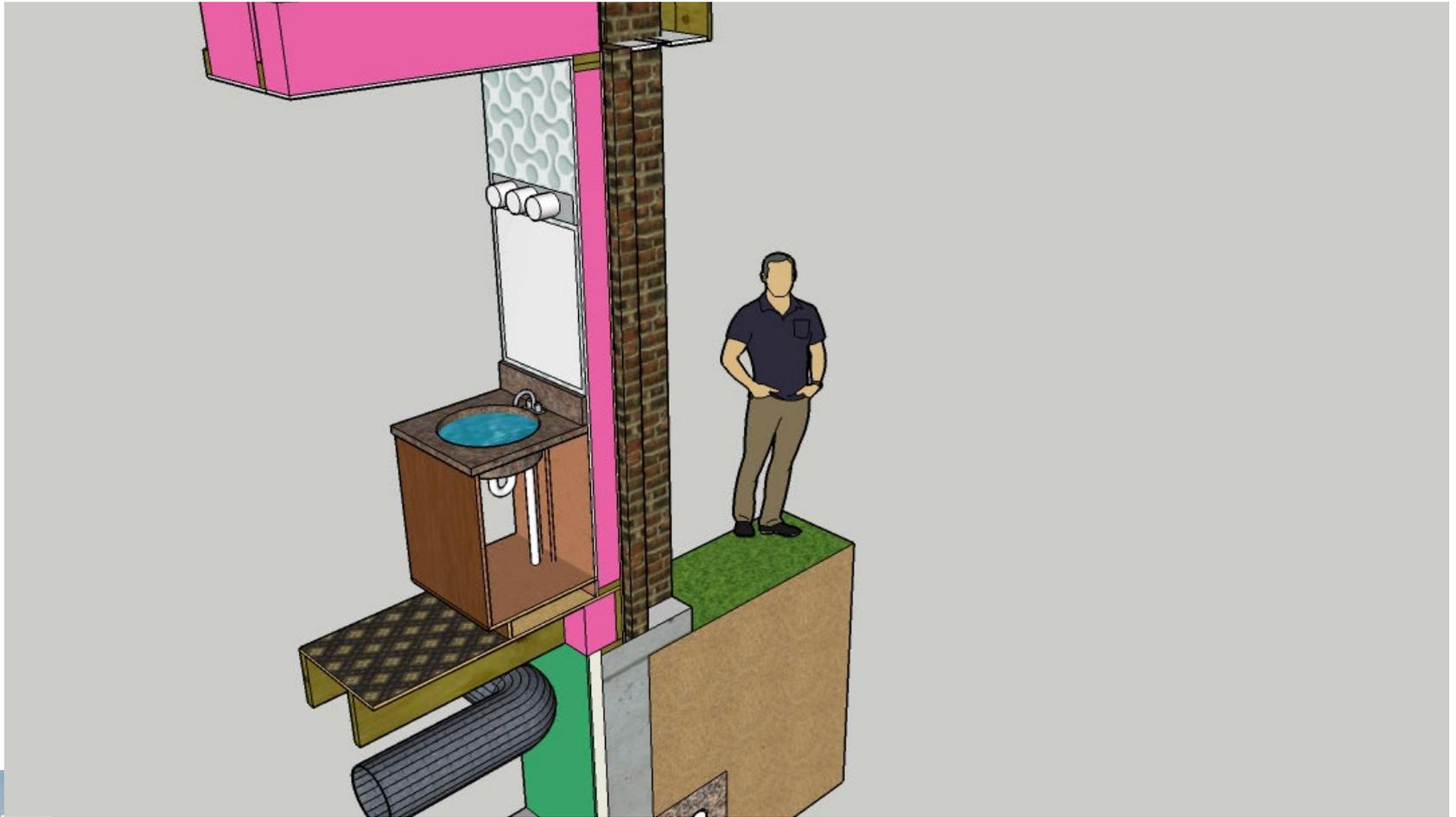


PLUMBING

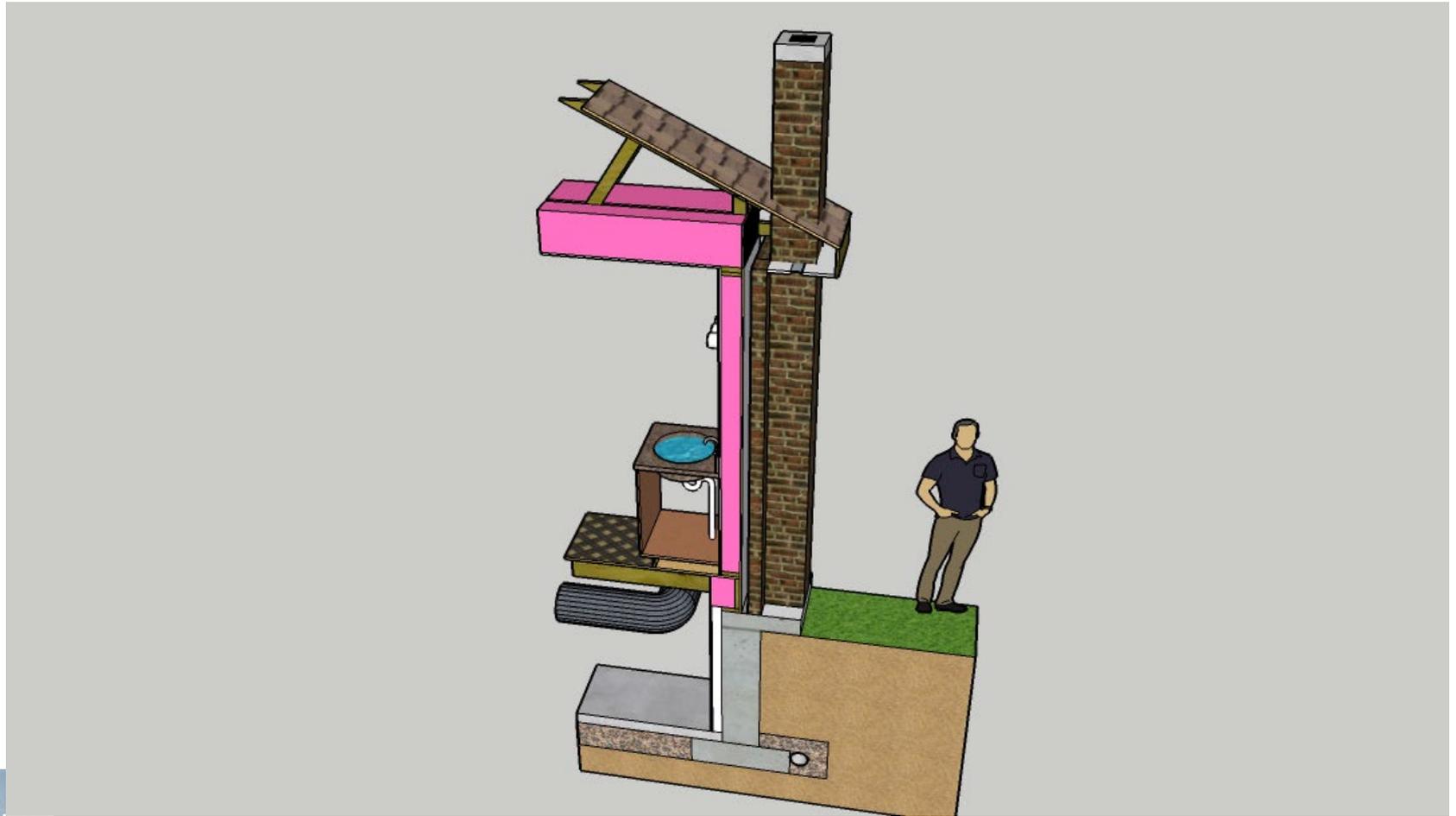
CHAPTERS 25-33



ELCTRICAL CHAPTERS 34-43



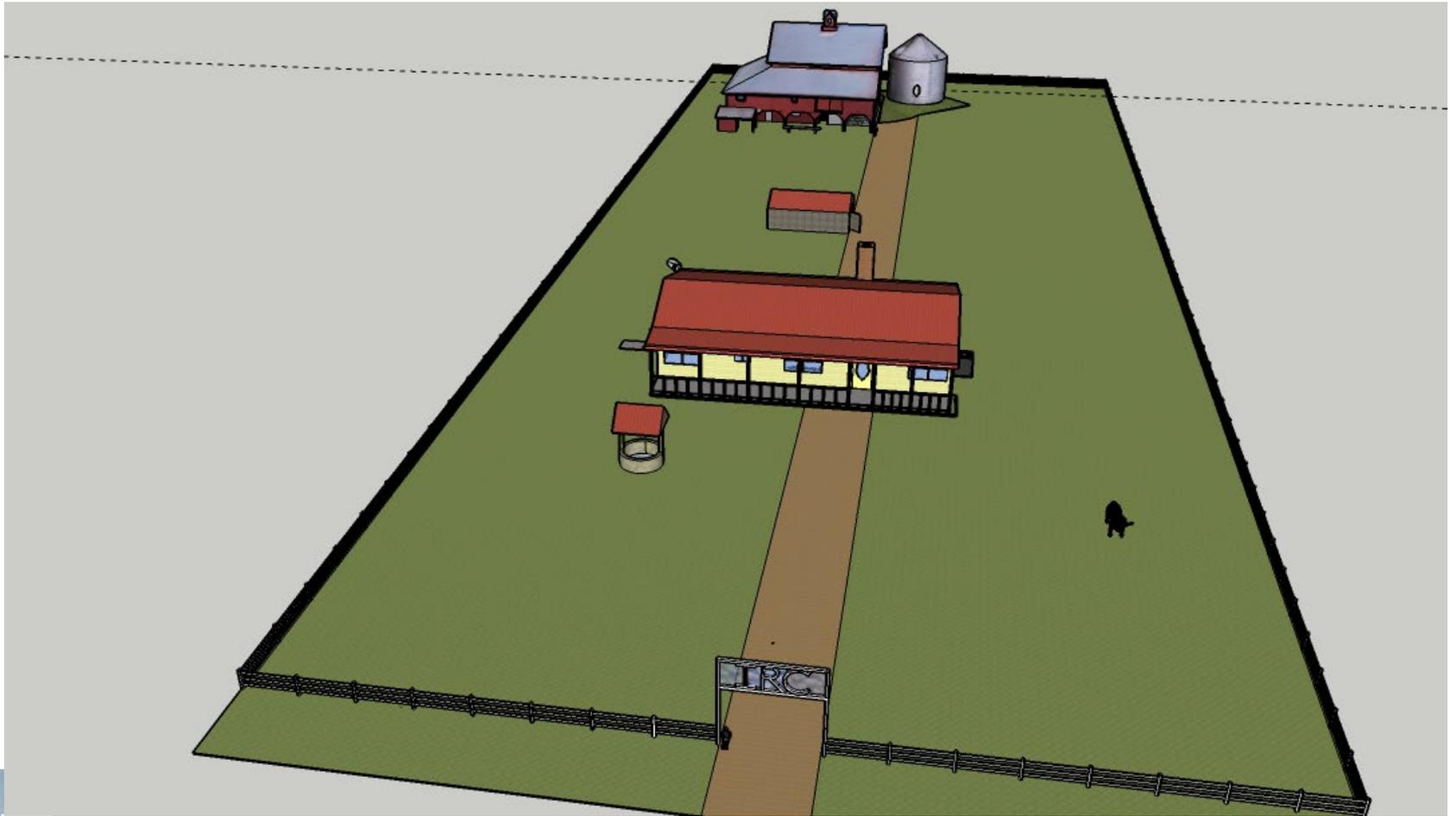
ENTIRE HOUSE



THE WELL REF. STDS., APPENDICES & INDEX



WELCOME TO THE IRC RANCH





Building Planning Review

Why Plan Review?

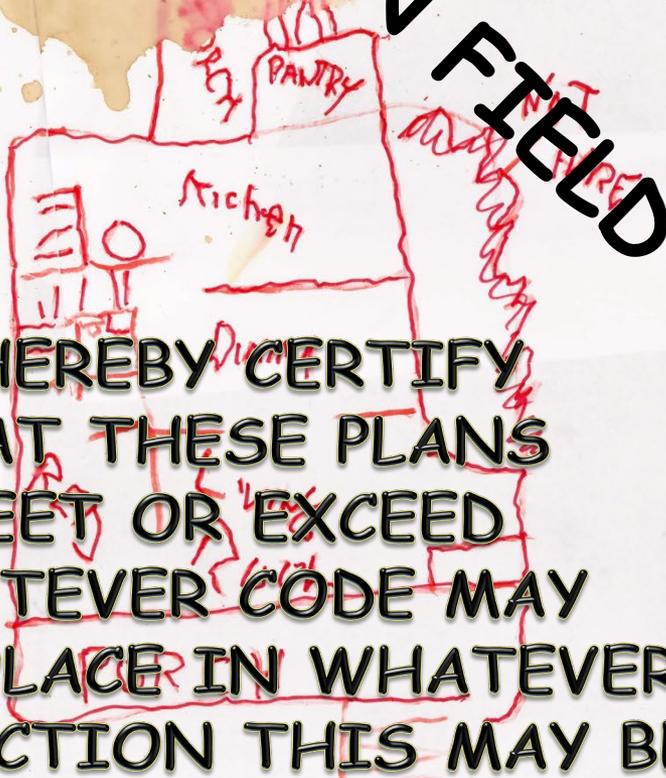




NIC MY HOUSE

Construction Documents

BY CONTRACTOR VERIFIED IN FIELD



I HEREBY CERTIFY THAT THESE PLANS MEET OR EXCEED WHATEVER CODE MAY BE IN PLACE IN WHATEVER JURISDICTION THIS MAY BE.

Why Plan Review?

A good plan review will provide a level playing field, so that everybody knows what to expect during the project:

- ✓ The owner
- ✓ The contractor(s)
- ✓ The plan reviewer
- ✓ The inspector(s)

“Send a Fire Inspector out to tell us where the extinguishers go.”



Why Plan Review?

Long story short.....

It fixes a whole lot easier with an eraser than it does with a Sawzall or jackhammer.



Why Plan Review?

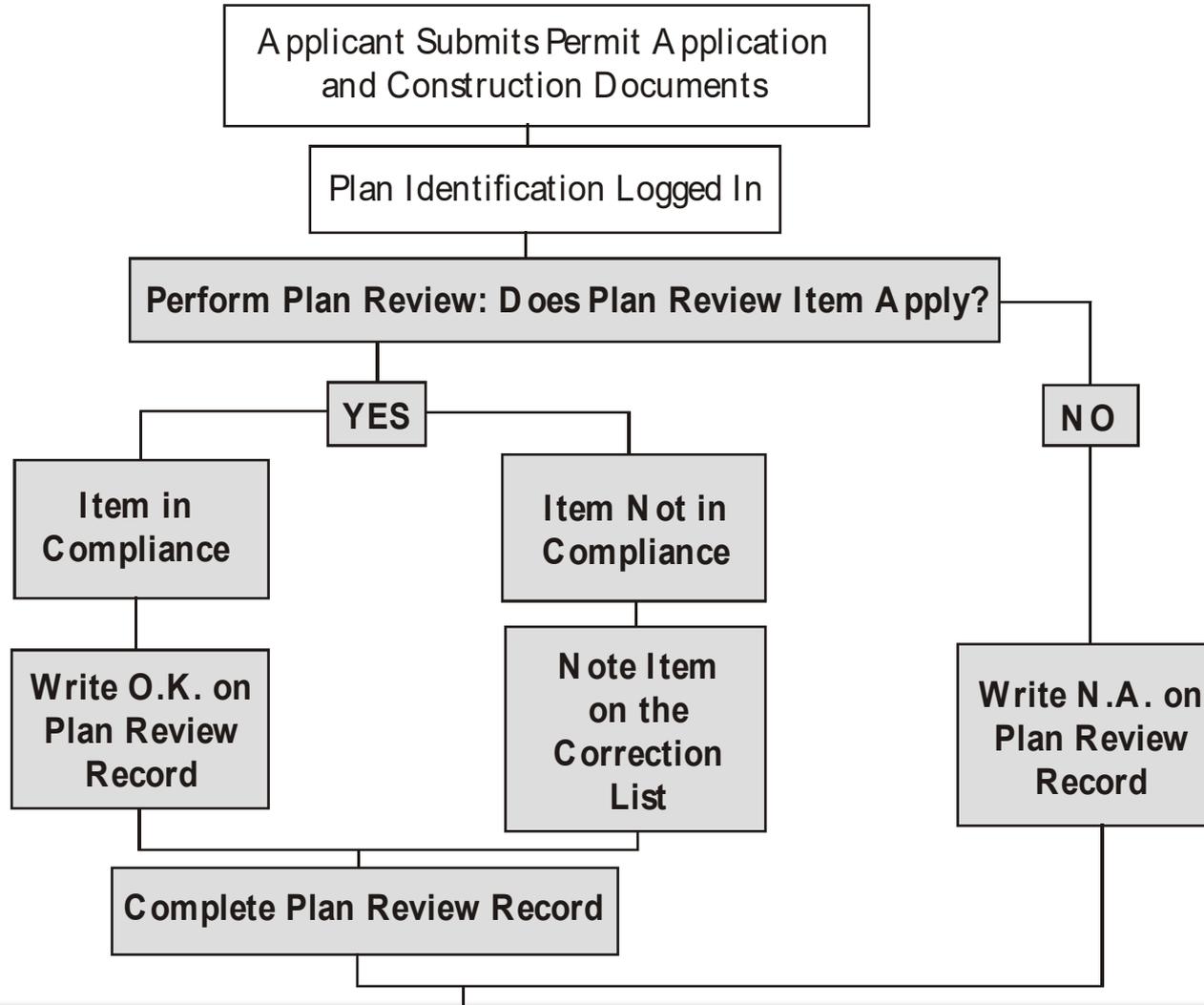
SECTION R104

DUTIES AND POWERS OF THE BUILDING OFFICIAL

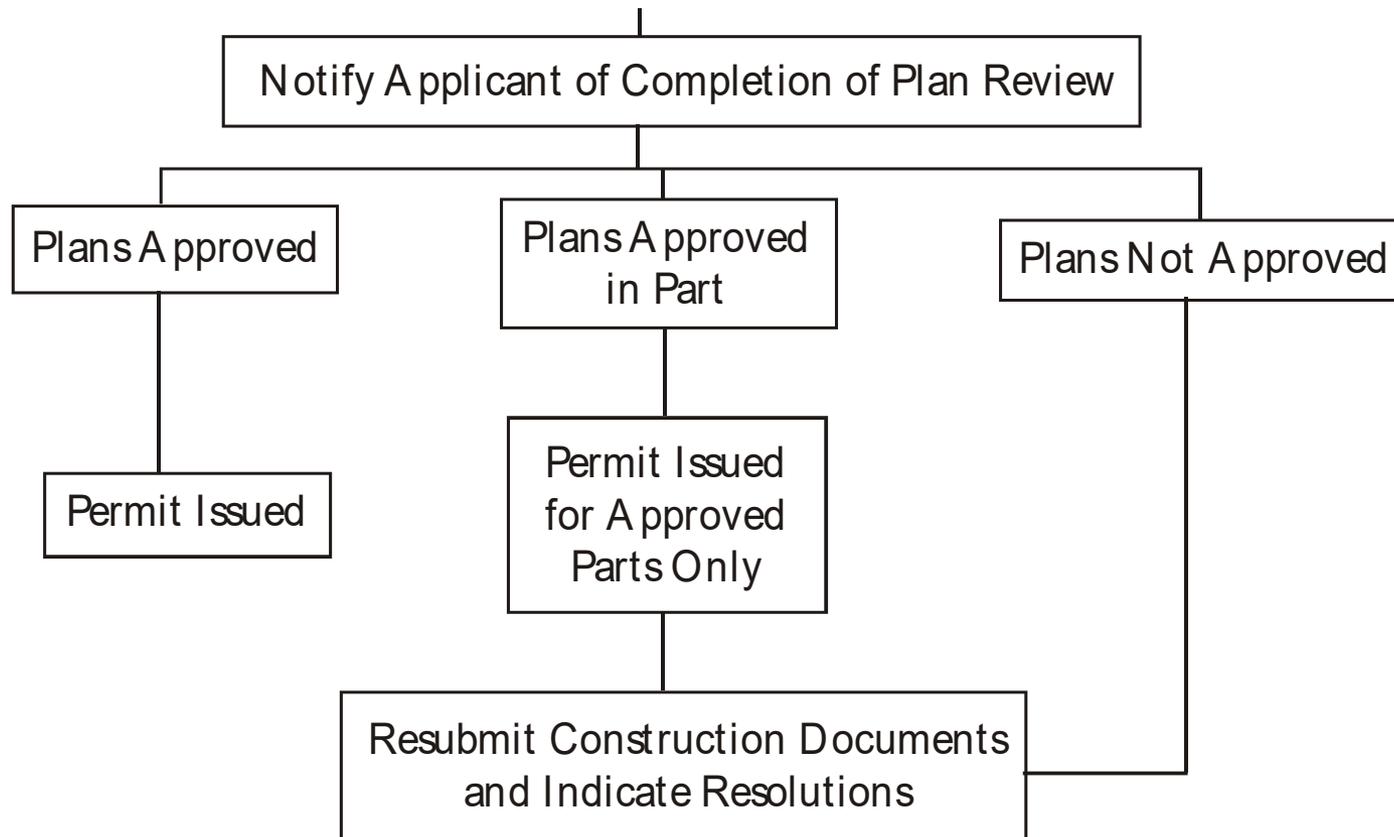
R104.2 Applications and permits. The *building official* shall receive applications, **review construction documents** and issue *permits* for the erection and *alteration* of buildings and structures, inspect the premises for which such permits have been issued and enforce compliance with the provisions of this code.



The Plan Review Process



The Plan Review Process (continued)



Local Plan Review Letter



October 17, 2018

qq

Re: Plan Review for: qq

Permit # 18-qq

CODES REFERENCED:

BUILDING CODES

- A. International Residential Code 2015 (with amendments)
- B. National Electric Code (NEC) 2014 (with amendments)
- C. State of Illinois Plumbing Code 2014
- D. Illinois (International) Energy Conservation Code (IECC) 2015

VILLAGE CODES/ORDINANCES

- A. Village of Oak Brook Zoning Ordinance

DRAWINGS REVIEWED:

qq Sheets:
Dated: qq
Your file #: qq
Received: qq

We are unable to approve your plans as submitted. Please incorporate the items listed below into revised drawings and resubmit, a minimum of two sets, for further review. All items requested in this review letter shall be addressed prior to approval.

If you choose to resubmit anything less than a complete set, please be prepared to disassemble and properly reassemble.

As a matter of fairness, resubmittals are reviewed in a first-in-first out order along with all other submittals. Resubmittals may be accepted in a pre-scheduled meeting, under the following conditions:

- Each design discipline represented in the initial submittal is personally represented- regardless of whether corrections were required within that discipline.
- The representative of each discipline is legally authorized to alter/modify/correct, sign and seal the construction documents. A valid Illinois license for the represented discipline is required.
- Proxies are allowed with written authorization from the initial signatory-only if the proxy is licensed to practice within the state of Illinois.
- Owners, contractors, construction managers, expeditors...etc. may attend the meeting- in addition to all required attendees.



Miscellaneous thoughts

D2	DETAILS
D3	DETAILS, RISERS & SCHEDULES

"I HEARBY CERTIFY UNDER OATH THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM FAMILIAR WITH THE CODES AND ORDINANCES OF THE VILLAGE OF OAK BROOK, AND TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE BUILDING ORDINANCE, ZONING ORDINANCE AND OTHER APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF OAK BROOK, ILLINOIS"

Applicable Building Codes:

Residential Building Code	1 2015 INTEERNATIONAL RESIDENTIAL CODE w/ VILLAGE OF OAK BROOK AMENDMENTS
Mechanical	1 2015 INTERNATIONAL MECHANICAL CODE w/ VILLAGE OF OAK BROOK AMENDMENTS
Electrical	1 2014 NATIONAL ELECTRICAL CODE w/ VILLAGE OF OAK BROOK AMENDMENTS
Plumbing	2014 STATE OF ILLINOIS PLUMBING CODE w/ VILLAGE OF OAK BROOK AMENDMENTS
Energy	2015 ICC INTERNATIONAL ENERGY CONSERVATION CODE w/ VILLAGE OF OAK BROOK AMENDMENTS
Zoning	VILLAGE OF OAK BROOK ZONING ORDIANANCE

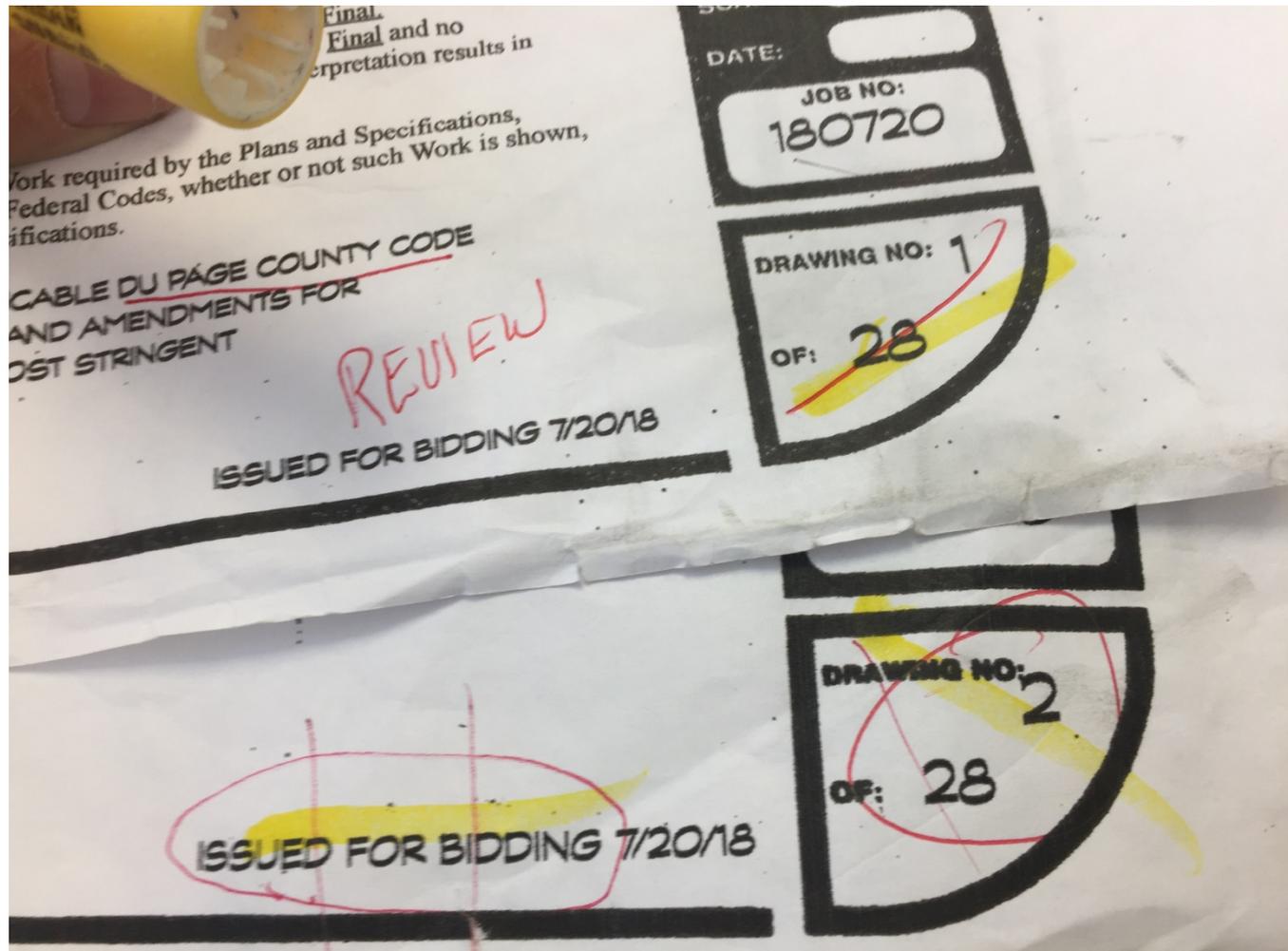


Miscellaneous thoughts

- The more they give you- the more you give back.
 - Please specify, detail, and/or note the foundation adequate for review.
 - Please specify, detail, and/or note the bolt pattern shown on the center of the roof assembly, Detail 3, Sheet A-1.

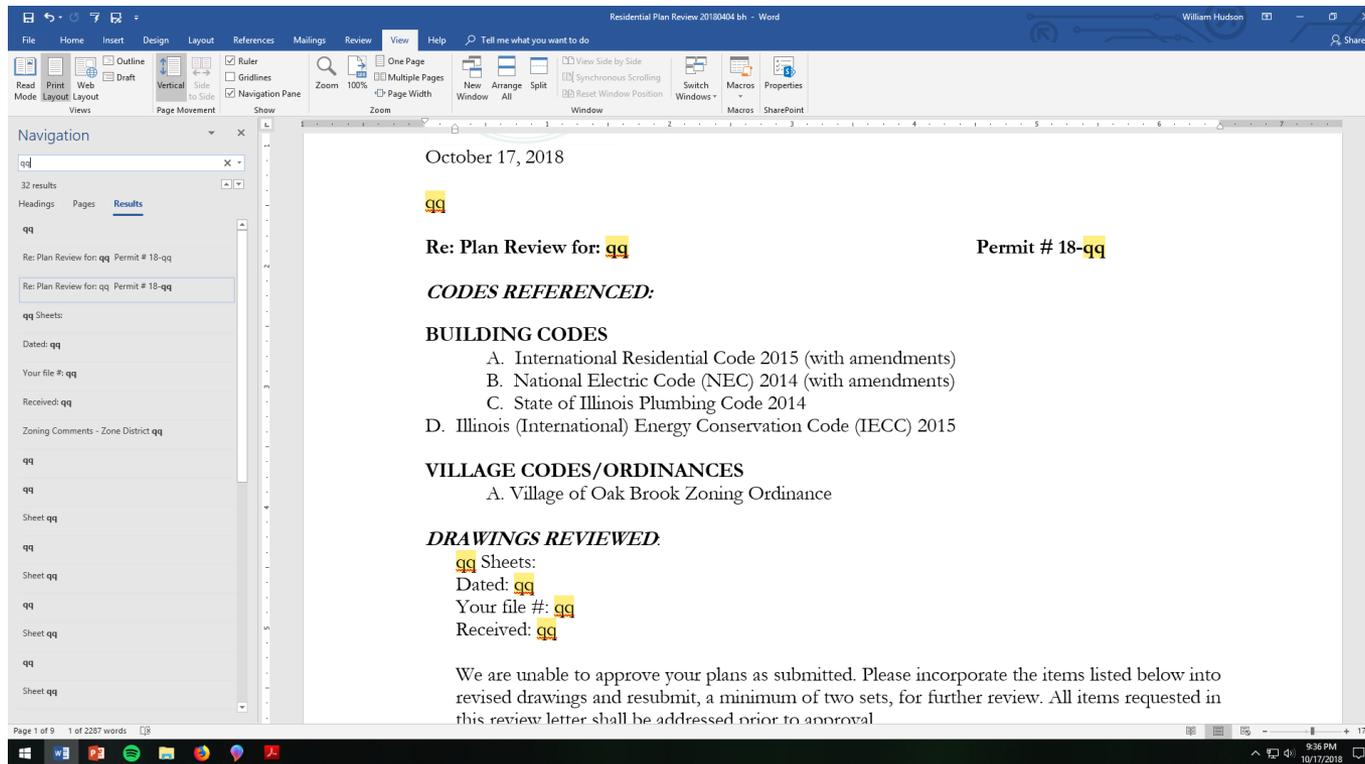


Miscellaneous thoughts

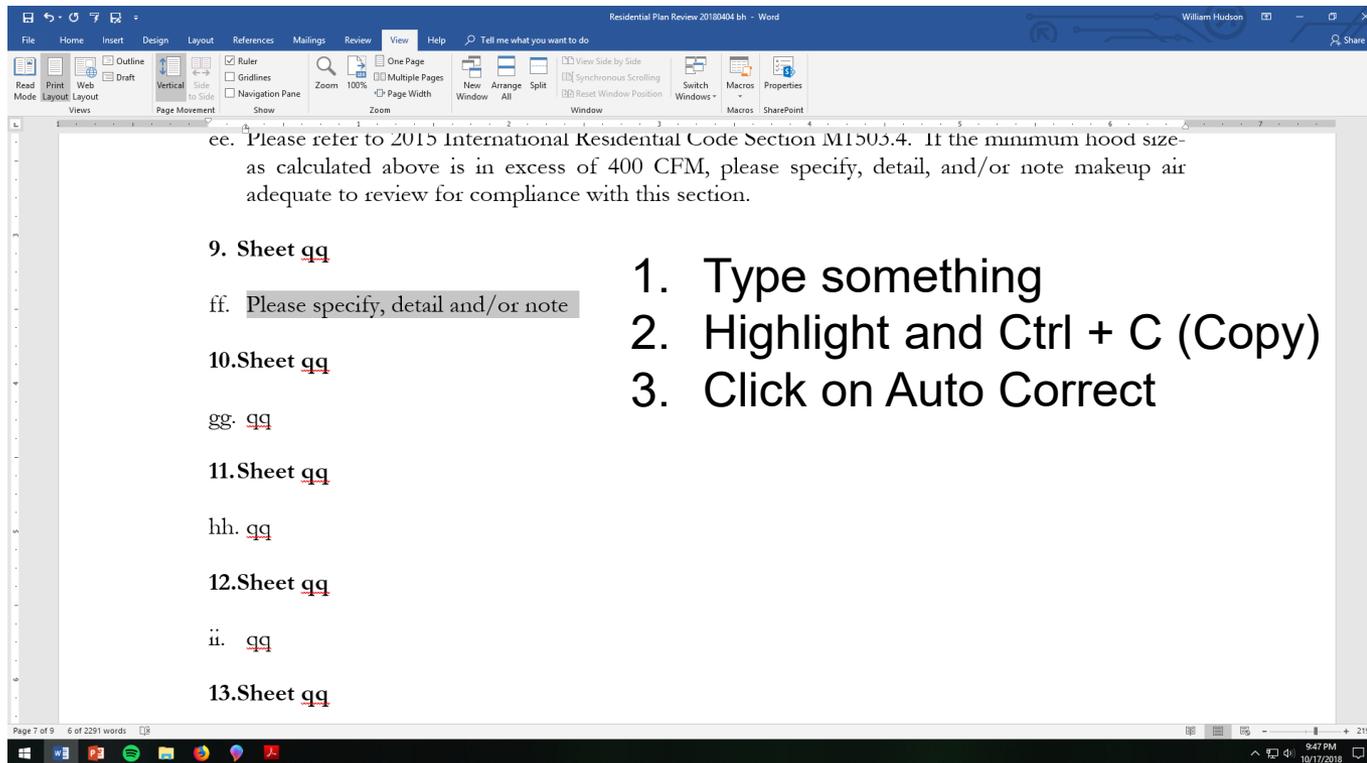


Miscellaneous thoughts

- ✓ Ctrl + F → Find
- ✓ Search for “QQ”
- ✓ Enter will advance through each occurrence
- ✓ Esc will leave you at the chosen location ready to replace



Miscellaneous thoughts



The screenshot shows a Microsoft Word window titled "Residential Plan Review 20100404 bh - Word". The ribbon is set to "View". The document content includes:

- ee. Please refer to 2015 International Residential Code Section M1503.4. If the minimum hood size- as calculated above is in excess of 400 CFM, please specify, detail, and/or note makeup air adequate to review for compliance with this section.
- 9. Sheet qq
- ff. Please specify, detail and/or note
- 10. Sheet qq
- gg. qq
- 11. Sheet qq
- hh. qq
- 12. Sheet qq
- ii. qq
- 13. Sheet qq

To the right of the list, there are three numbered instructions:

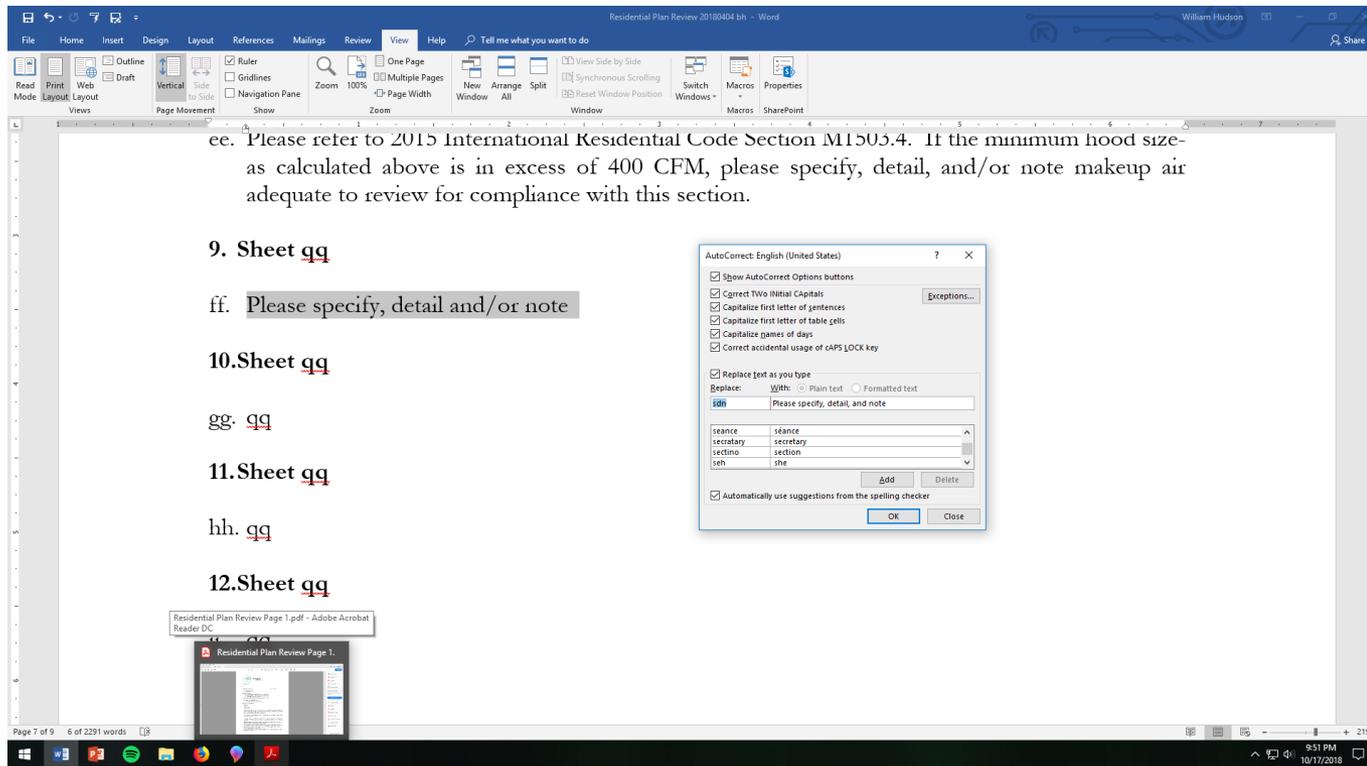
1. Type something
2. Highlight and Ctrl + C (Copy)
3. Click on Auto Correct

The status bar at the bottom of the window shows "Page 7 of 9", "6 of 2291 words", and the system tray with the time "9:47 PM" and date "10/17/2018".



Miscellaneous thoughts

1. Type something
2. Highlight and Ctrl + C (Copy)
3. Click on Auto Correct
4. Make up a non-word i.e. "sdn"



Miscellaneous thoughts

- sdn



Miscellaneous thoughts

- Please specify, detail, and note



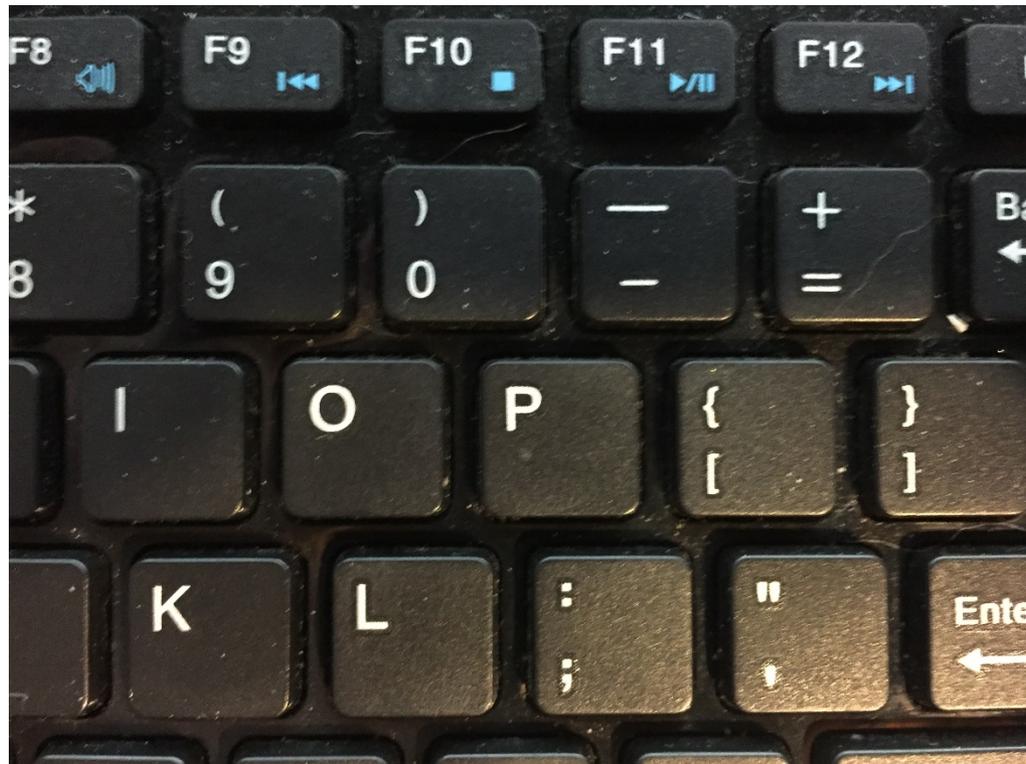
Miscellaneous thoughts

- Rspu → Rake, sweep and pick up



Miscellaneous thoughts

- Rspu → Rake, sweep and pick up



Plan Review Steps

- Building Planning Review
- Foundation Review
- Floor System Review
- Wall Construction Review
- Wall Covering Review
- Roof/Ceiling Construction Review
- Roof Covering Review
- Chimney and Fireplace Review

Residential Plan Review

Building Planning
Review

Foundation
Review

Floor System
Review

Wall
Construction
Review

Wall Covering
Review

Roof/Ceiling
Construction
Review

Roof Covering
Review

Chimney and
Fireplace
Review



Building Planning Review

- The purpose of a building planning review is to determine that the one- or two-family dwelling, as shown on building plans and in specifications:
 - Complies with applicable standards of construction.
 - Uses appropriate materials and methods.
 - is safe for people and property.
 - Complies with code requirements.



Building Planning Review

Subtasks

1. Design Criteria, Fire-resistant Construction, Light, Ventilation and Room Size Review
2. Sanitation Review
3. Glazing Review
4. Garage Review
5. Egress Review
6. Automatic Fire Sprinkler System Review
7. Smoke Alarm and Carbon Monoxide Alarm Review
8. Insulation and Interior Finish Review
9. Dwelling Unit Separation Review
10. Fire Protection of Floors Review
11. Moisture, Decay and Termite Protection Review



Step 1: Design Criteria, Fire-resistant Construction, Light, Ventilation and Room Size Review

1. Check for design loads on plans.
2. Compare design loads to criteria in Table R301.2(1).
3. Check for exterior wall rating and opening requirements.
4. Check for fire-resistant construction.
5. Check for required lighting.
6. Check for required ventilation.
7. Check for required heating.
8. Check for minimum room size.
9. Check for minimum ceiling height.





Table R301.2(1)

Snow Load Map Basic Wind Speed Map and Design Wind Load Table Seismic Design Categories Figure Isolines of 97 1/2 Present Winter Design Temperatures Map

2015 IRC
Table
R301.2(1)
Page 29

TABLE R301.2(1)
CLIMATIC AND TOPOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY ^l	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP ^e	ICE BARRIER UNDERLAYMENT REQUIRED ^h	FLOOD HAZARDS ^g	AIR FREEZING INDEX ⁱ	MEAN ANNUAL TEMP ^j
	Speed ^d (mph)	Topographic effects ^k	Special wind region ^l	Wind-borne debris zone ^m		Weathering ^a	Frost line depth ^b	Termite ^c					

For SI: 1 pound per square foot = 0.0479 kPa, 1 mile per hour = 0.447 m/s.

- Weathering may require a higher strength concrete or grade of masonry than necessary to satisfy the structural requirements of this code. The weathering column shall be filled in with the weathering index, "negligible," "moderate" or "severe" for concrete as determined from Figure R301.2(3). The grade of masonry units shall be determined from ASTM C 34, C 55, C 62, C 73, C 90, C 129, C 145, C 216 or C 652.
- The frost line depth may require deeper footings than indicated in Figure R301.1(1). The jurisdiction shall fill in the frost line depth column with the minimum depth of footing below finish grade.
- The jurisdiction shall fill in this part of the table to indicate the need for protection depending on whether there has been a history of local subterranean termite damage.
- The jurisdiction shall fill in this part of the table with the wind speed from the basic wind speed map [Figure R301.2(4)A]. Wind exposure category shall be determined on a site-specific basis in accordance with Section R301.2.1.4.
- The outdoor design dry-bulb temperature shall be selected from the columns of 97 1/2-percent values for winter from Appendix D of the *International Plumbing Code*. Deviations from the Appendix D temperatures shall be permitted to reflect local climates or local weather experience as determined by the building official.
- The jurisdiction shall fill in this part of the table with the seismic design category determined from Section R301.2.2.1.
- The jurisdiction shall fill in this part of the table with (a) the date of the jurisdiction's entry into the National Flood Insurance Program (date of adoption of the first code or ordinance for management of flood hazard areas), (b) the date(s) of the Flood Insurance Study and (c) the panel numbers and dates of the currently effective FIRMs and FBFAs or other flood hazard map adopted by the authority having jurisdiction, as amended.
- In accordance with Sections R905.1.2, R905.4.3, R905.5.3.1, R905.6.3.1, R905.7.3.1 and R905.8.3.1, where there has been a history of local damage from the effects of ice damming, the jurisdiction shall fill in this part of the table with "YES." Otherwise, the jurisdiction shall fill in this part of the table with "NO."
- The jurisdiction shall fill in this part of the table with the 100-year return period air freezing index (BF-days) from Figure R403.3(2) or from the 100-year (99 percent) value on the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)."
- The jurisdiction shall fill in this part of the table with the mean annual temperature from the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)."
- In accordance with Section R301.2.1.3, where there is local historical data documenting structural damage to buildings due to topographic wind speed-up effects, the jurisdiction shall fill in this part of the table with "YES." Otherwise, the jurisdiction shall indicate "NO" in this part of the table.
- In accordance with Figure R301.2(4)A, where there is local historical data documenting unusual wind conditions, the jurisdiction shall fill in this part of the table with "YES" and identify any specific requirements. Otherwise, the jurisdiction shall indicate "NO" in this part of the table.
- In accordance with Section R301.2.1.2.1, the jurisdiction shall indicate the wind-borne debris wind zone(s). Otherwise, the jurisdiction shall indicate "NO" in this part of the table.

Weather Probability Map for Concrete

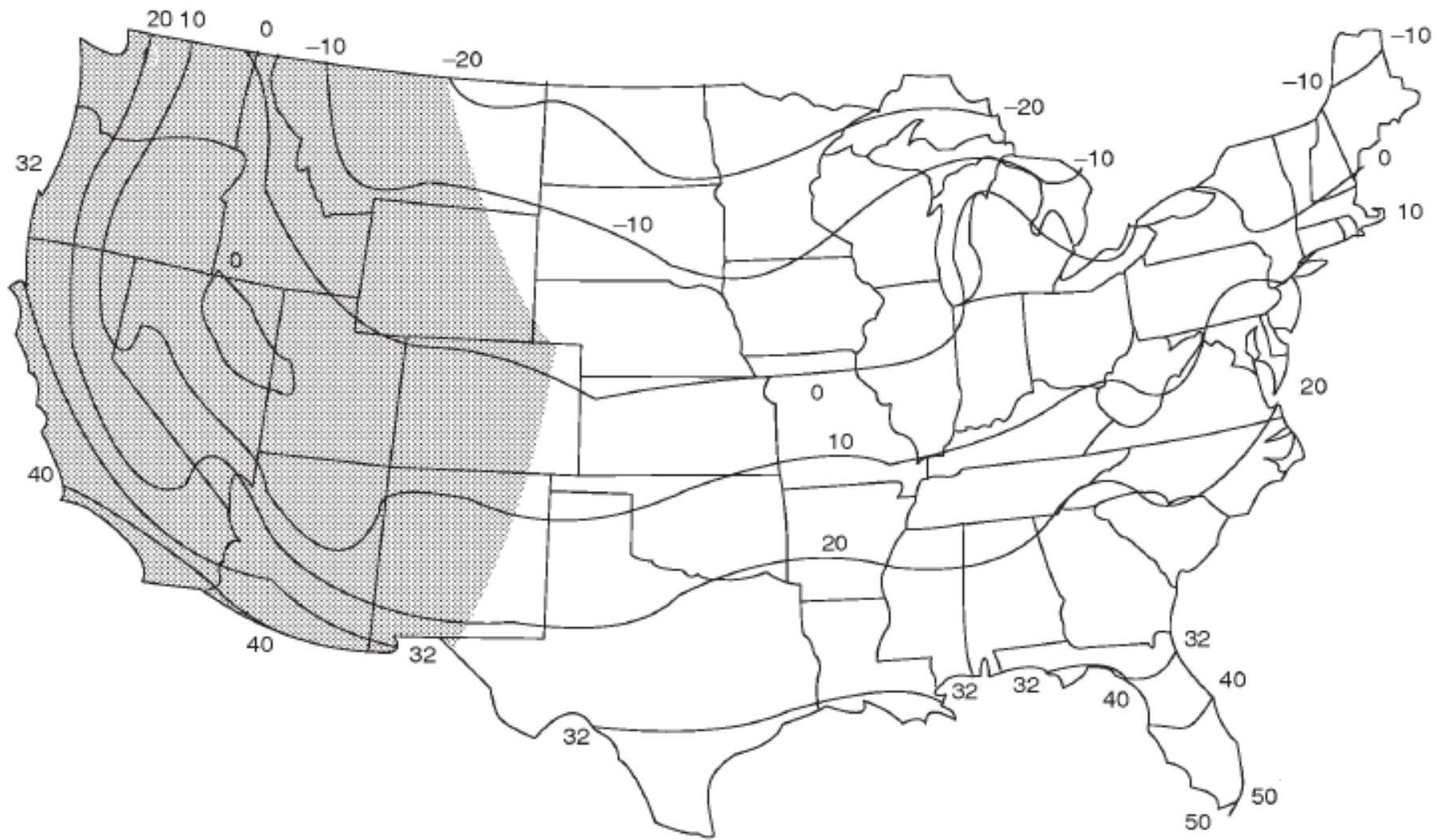
Past practice of jurisdiction; not addressed by code

Termite Infestation Probability Map and/or history of local damage

As required by Chapter 9 and/or history of local damage

Flood Hazard Map and Jurisdiction's Flood Code





 DESIGN TEMPERATURES IN THIS AREA MUST BE BASED ON ANALYSIS OF LOCAL CLIMATE AND TOPOGRAPHY

For SI: $^{\circ}\text{C} = [(^{\circ}\text{F}) - 32] / 1.8$.

FIGURE R301.2(1)
ISOLINES OF THE 97¹/₂ PERCENT WINTER (DECEMBER, JANUARY AND FEBRUARY) DESIGN TEMPERATURES (°F)

Village of Oak Brook Design Criteria

GROUND SNOW LOAD		25 LB/FT²
ULTIMATE WIND DESIGN		115 MPH
SEISMIC DESIGN CATEGORY		A
SUBJECT TO DAMAGE	WEATHERING	SEVERE
	FROST LINE DEPTH	42"
	TERMITE	MODERATE TO SEVERE
WINTER DESIGN TEMPERATURE		-4° F, 97 ½%
SUMMER DESIGN TEMPERATURE		89° F Dry Bulb, 2 ½%
		76° F Wet Bulb, 2 ½%
ICE BARRIER UNDERLAYMENT		REQUIRED
FLOOD HAZARDS		FIRM # 170214 PANELS 0606H-0609H 12/16/2004
AIR FREEZING INDEX		1543 (°F-Days)
ANNUAL MEAN TEMPERATURE		49.4° F
HEATING DEGREE DAYS (HDD)		6,155
COOLING DEGREE DAYS (CDD)		942



Table R301.5 Minimum uniformly distributed live loads

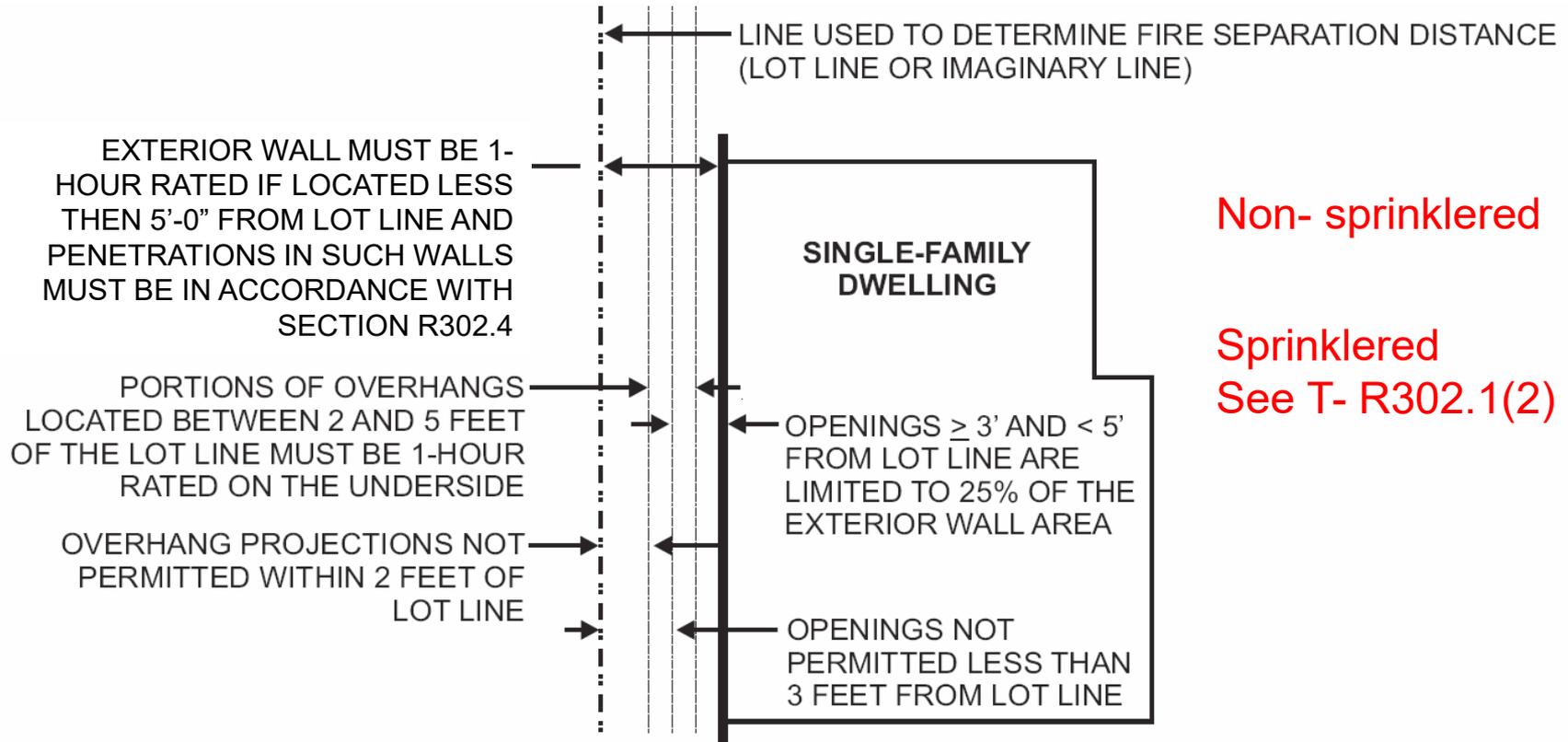
2015 IRC,
Table
R301.5,
Page 49

**TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(in pounds per square foot)**

USE	LIVE LOAD
Uninhabitable attics without storage ^b	10
Uninhabitable attics with limited storage ^{b, g}	20
Habitable attics and attics served with fixed stairs	30
Balconies (exterior) and decks ^e	40
Fire escapes	40
Guardrails and handrails ^d	200 ^h
Guardrail in-fill components ^f	50 ^h
Passenger vehicle garages ^a	50 ^a
Rooms other than sleeping room	40
Sleeping rooms	30
Stairs	40 ^c



R302 Fire Separation



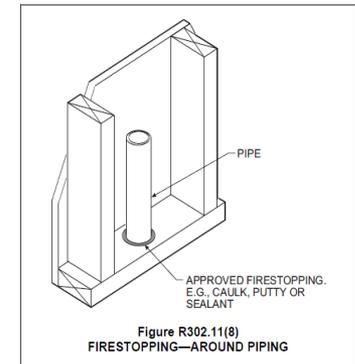
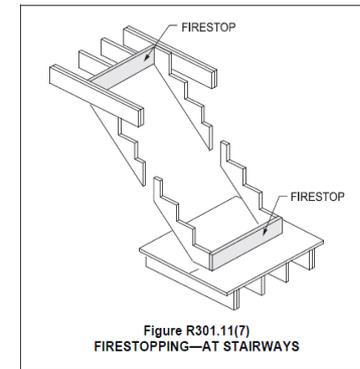
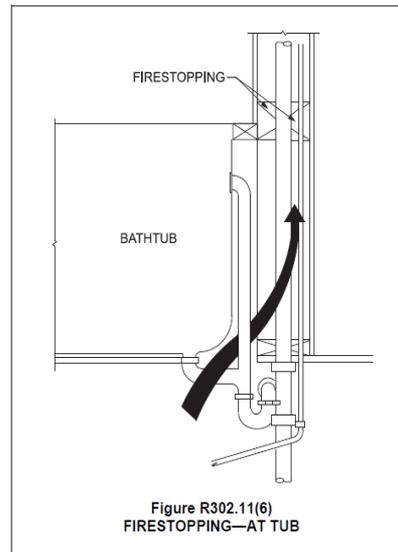
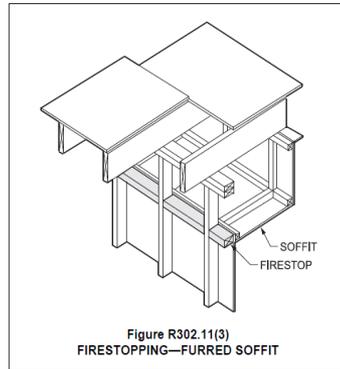
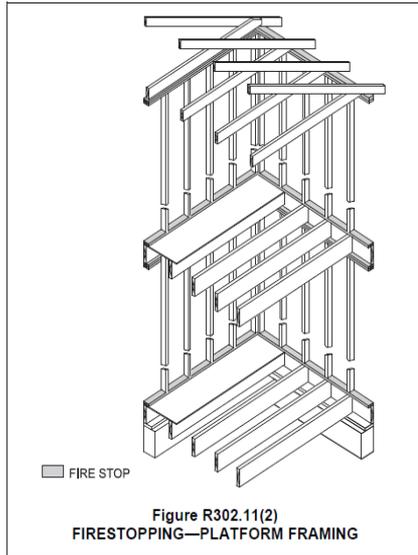
Partial Site Plan

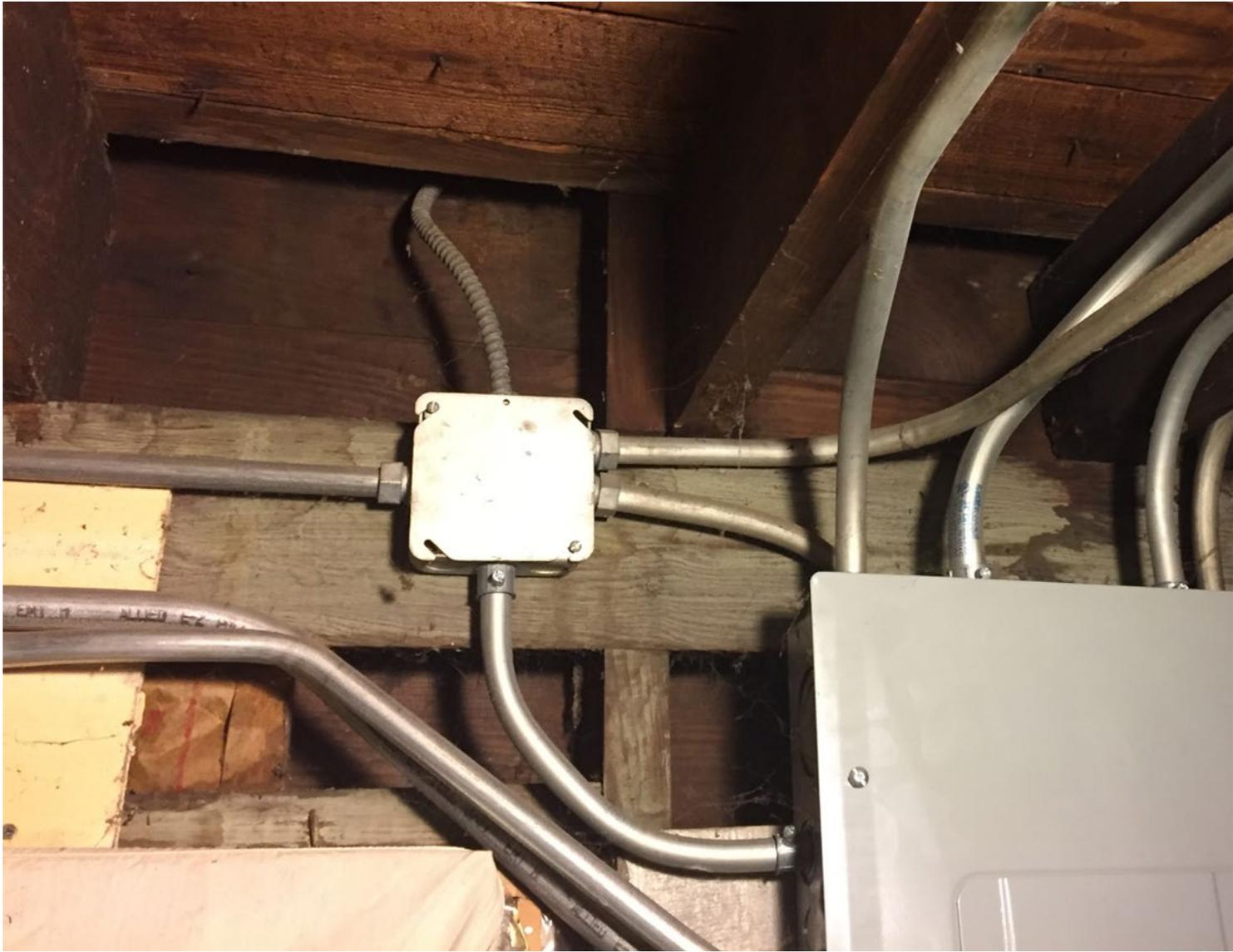
EXTERIOR WALL REQUIREMENTS BASED ON LOCATION TO LOT LINE

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

R302.11 Fireblocking

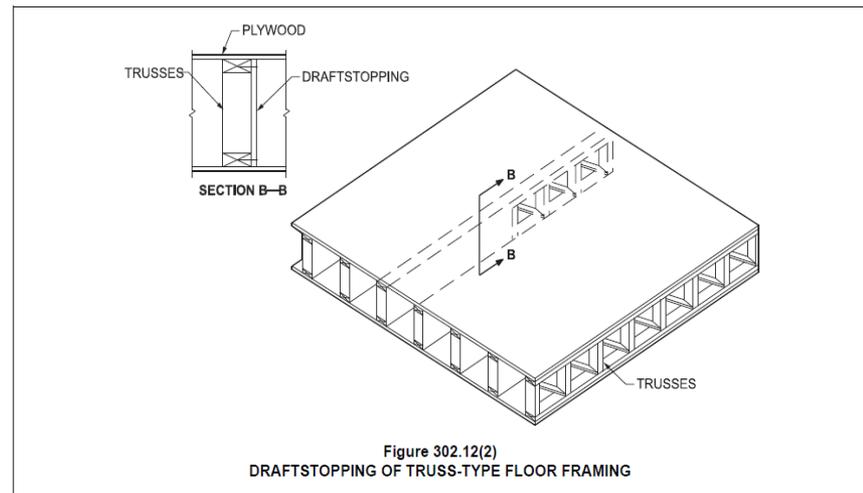
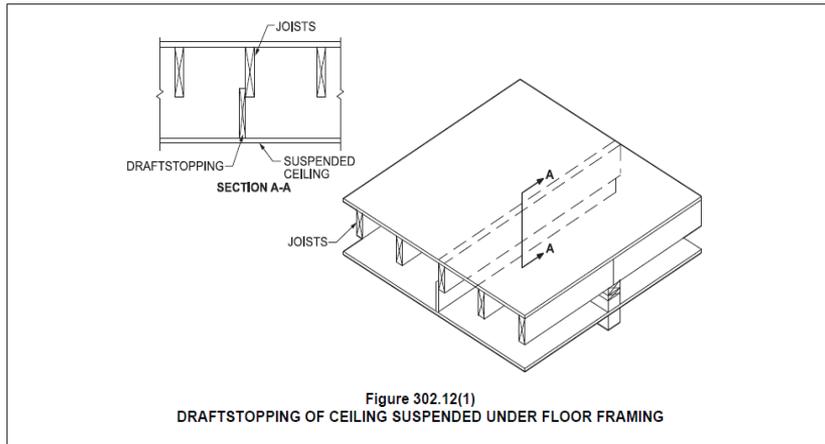
FIREBLOCKING. Building materials or materials *approved* for use as fireblocking, installed to resist the free passage of flame to other areas of the building through concealed spaces.





R302.11 Draftstopping

DRAFT STOP. A material, device or construction installed to restrict the movement of air within open spaces of concealed areas of building components such as crawl spaces, floor-ceiling assemblies, roof-ceiling assemblies and *attics*.



R303 Light, Ventilation & Heating

R303.1 Natural Light & Ventilation- Habitable Rooms

Space	Minimum Glazing Size (for natural lighting)
All habitable rooms (e.g., living room, dining room, sleeping rooms, kitchen)	8% of floor area for natural light 4% of floor area openable for natural ventilation
Bathroom	3 s.f. for natural light 1.5 s.f. for natural ventilation

For SI: 1 square foot = 0.0929 m².

Note: Artificial light may be substituted in accordance with exceptions to Sections R303.1 and R303.3.

R303 Light, Ventilation & Heating

R303.1 Natural Light & Ventilation- Adjoining Rooms

Adjoining room	<ul style="list-style-type: none">• Combined area of room and adjoining room;• One-half the area of common wall is open and unobstructed; and• Opening is a minimum of 10% of the floor area of the interior room but not less than 25 square feet.
----------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

For SI: 1 square foot = 0.0929 m².

Note: Emergency escape and rescue requirements of Section R310 must also be satisfied. Check if natural lighting is not in accordance with Section R303, then Sections R303.1, R303.3 and R303.6 require artificial lighting as follows:

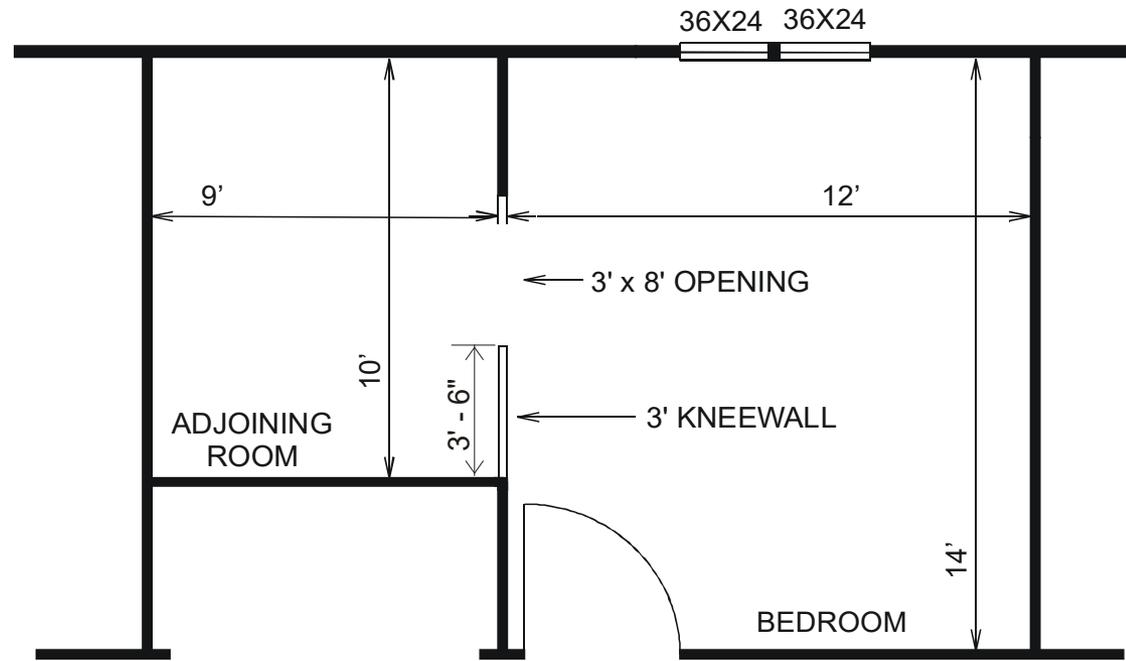




R303.2 Natural Light for adjoining rooms

Adjoining Room Calculation:

- Floor area of bedroom = $14 \times 12 = 168 \text{ ft}^2$
- Total common wall area = $9 \times 10 = 90 \text{ ft}$.
- Open common wall area = $(3 \times 8) + (3.5 \times 5) = 41.5 \text{ ft}^2$



NOTE: 8' CEILING HEIGHT, DOUBLE HUNG WINDOWS

Room With Adjoining Room

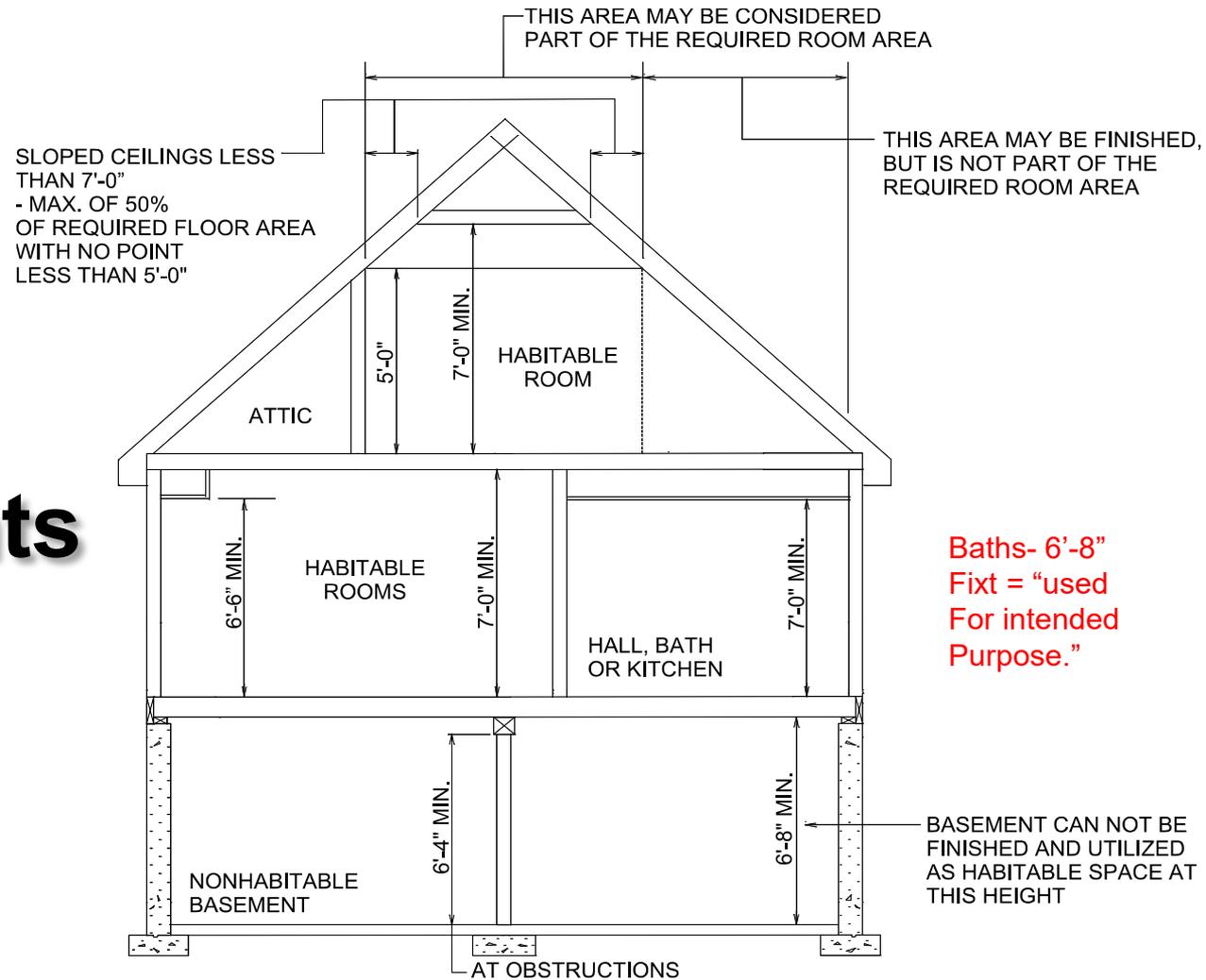
Step 5: Check habitable rooms for minimum size

Space	Minimum Area	Minimum Horizontal Dimension
Other habitable rooms	70 square feet	7 feet
Kitchen	N.A.	N.A.
Bedrooms	70 square feet	7 feet
Bathroom	N.A.	N.A.

For SI: 1 foot = 304.8 mm, 1 square foot = 0.0929 m²

See IPMC for additional requirements based on occupancy.

R305 Ceiling Height Requirements



For SI: 1 inch = 25.4 mm, 1 foot = 304.5 mm.



Building Planning Plan Review Activity

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation must be coordinated with the inspection phase (R100) of the project.

BUILDING PLANNING (Chapter 3)

DESIGN CRITERIA (Table R301.2(1))

Floor live load (Table R301.5) _____ psf

Roof live load (Table R301.6) _____ psf

Ground snow load _____ psf

Ultimate design wind speed _____ mph

Wind exposure category (R301.2.1.4) _____

High wind design criteria applicable (R301.2.1.1) _____

Seismic design category (SDC) (Figure R301.2(2)) _____

SDC C&D provisions (R301.2.2) _____

Weathering _____

Frost line depth _____

Termite area _____

Decay area _____

Winter design temperature _____

Ice barrier underlayment required _____

Flood hazards _____

Parapets and construction (R302.2.2, R302.2.3) _____

Two-family dwelling separation (R302.3) _____

Dwelling unit penetrations (R302.4) _____

Dwelling/garage opening/penetration protection (R302.5) _____

Dwelling/garage fire separation (R302.6) _____

Under-stair protection (R302.7) _____

Wall and ceiling finishes (R302.9) _____

Flame spread index (R302.9.1) _____

Smoke-developed index (R302.9.2) _____

Testing (R302.9.3, R302.9.4) _____

Insulation (R302.10) _____

Flame spread/smoke-developed (R302.10.1, R302.10.2) _____

Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4) _____

Testing (R302.10.5) _____

FIRE-RESISTANT CONSTRUCTION (R302)

Exterior walls (R302.1, Tables R302.1(1) and R302.1(2)) _____

Townhouse separation (R302.2) _____

Continuity and structural independence (R302.2.1, R302.2.4) _____

Fireblocking (R302.11) _____

Draftstopping (R302.12) _____

Fire protection of floors (R302.13) _____

Combustible insulation clearance (R302.14) _____

ROOM PLANNING REQUIREMENTS (R303 through R305)

Use	Area (ft ²)	Width	Ceiling height [†]	Natural light [*]	Natural ventilation [*]
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	6'-8"	9 square feet	11 square feet

* See Sections R303.1 & R303.2 for mechanical ventilation and artificial light and R303.4 for required whole-house mechanical ventilation.

Required heating (R303.5) _____

SANITATION (R306 and R307)

Water closet _____

Lavatory _____

Tub or shower _____

Kitchen area with sink _____

Sanitary sewer (Chapter 30) _____

Private disposal (Appendix I) _____

GLAZING (R308)

Identification (R308.1) _____

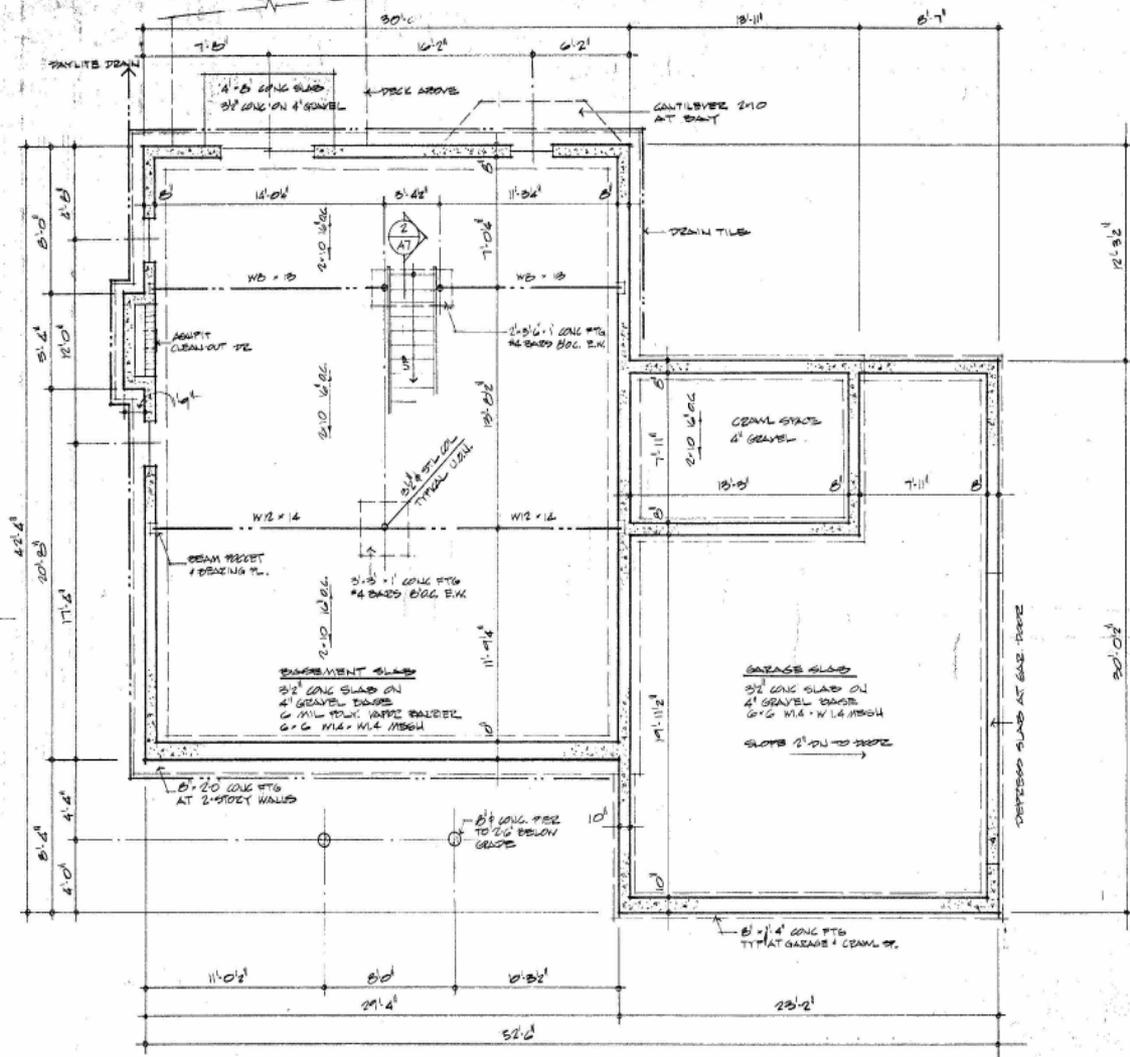
Louvered windows or jalousies (R308.2) _____

Human impact loads/hazardous locations (R308.3, R308.4) _____

Skylights and sloped glazing (R308.6) _____

-3-

- Use the plan review record, (page 3), to begin to fill out the Building Planning portion for Design Criteria, Fire-resistant Construction, Light, Ventilation and Room Size using the set of plans.



BASEMENT PLAN



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RESIDENCE FOR
 MR. + MRS. EUGEN SMITH III
 500 EASTMAN BLVD EVANSTON, ILL

MATT WILLIAMS INC.
 ARCHITECTS
 5708 E. TERRY ST.
 EVANSTON, ILL

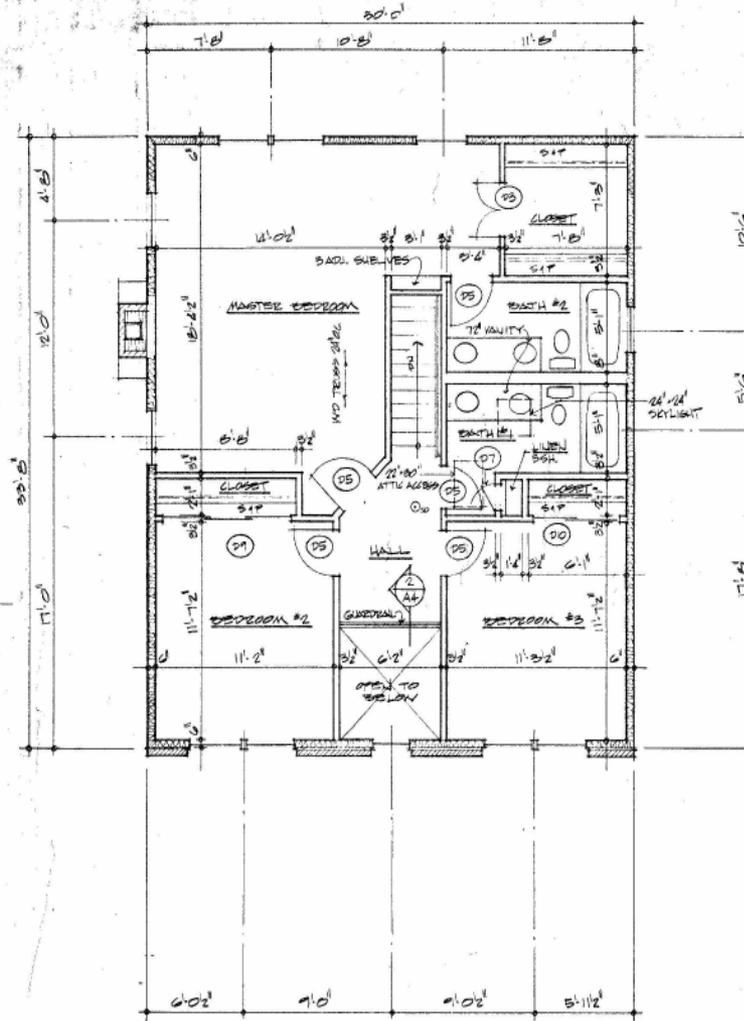


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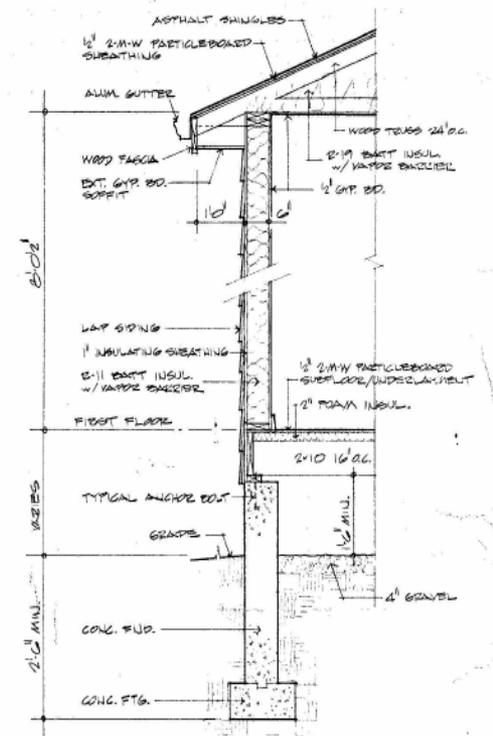




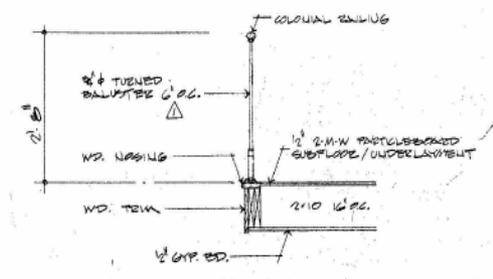
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

RESIDENCE FOR
MR. & MRS. EARL SMITH III
500 EASTALL BLVD EVANSTON, ILL

KRATI WILLIAMS INC.
ARCHITECTS
500 E. PARK DR.
EVANSTON, ILLINOIS, USA

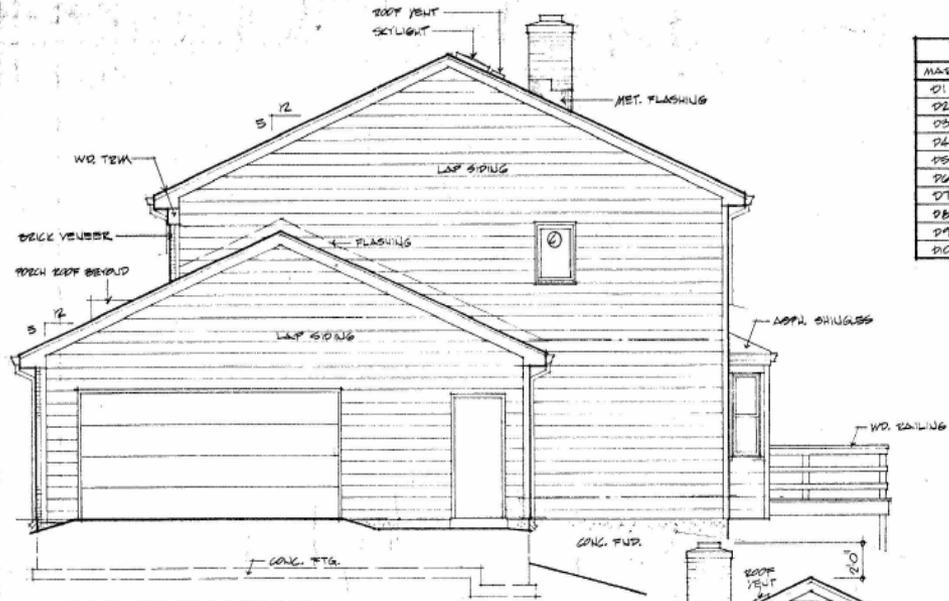


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
						REQ'D
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST				8.0
F	24" x 24"	LANDRY	62.0	4.4	10.7	4.4
G	24" x 24"	1/2 BATH	22.5	3.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.8
F	36" x 24"	BEDROOM				25.65
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	4.5 CFM
C	24" x 24"	BATH #2	52.5	2.0	5.5	2.6
B	24" x 24"	BATH #3	50.0	4.0	5.9	2.0
D	36" x 24"	BEDROOM #3	121.0	10.2	22.0	5.2



EAST ELEVATION

1/4" = 1'-0"

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MATERIAL	SIZE	TYPE
D1	36" x 24"	MET. ENTRY
D2	36" x 24"	PANELLED WOOD
D3	36" x 24"	PANELLED WOOD
D4	48" x 24"	PANELLED WOOD
D5	24" x 24"	PANELLED WOOD
D6	36" x 24"	1" x 6" SOLID WOOD
D7	12" x 24"	PANELLED WOOD
D8	72" x 24"	PANELLED MET. GRINGS
D9	36" x 24"	WOOD EXTERIOR FLASHING
D0	36" x 24"	WOOD EXTERIOR FLASHING

RESIDENCE FOR MR. & MRS. EARL SMITH III
500 EASTVILLE BLVD. EVANSTON, ILL. USA

MATT WILLIAMS, INC. ARCHITECTS
300 E. PARK DR. EVANSTON, ILL. USA



ISSUE DATE

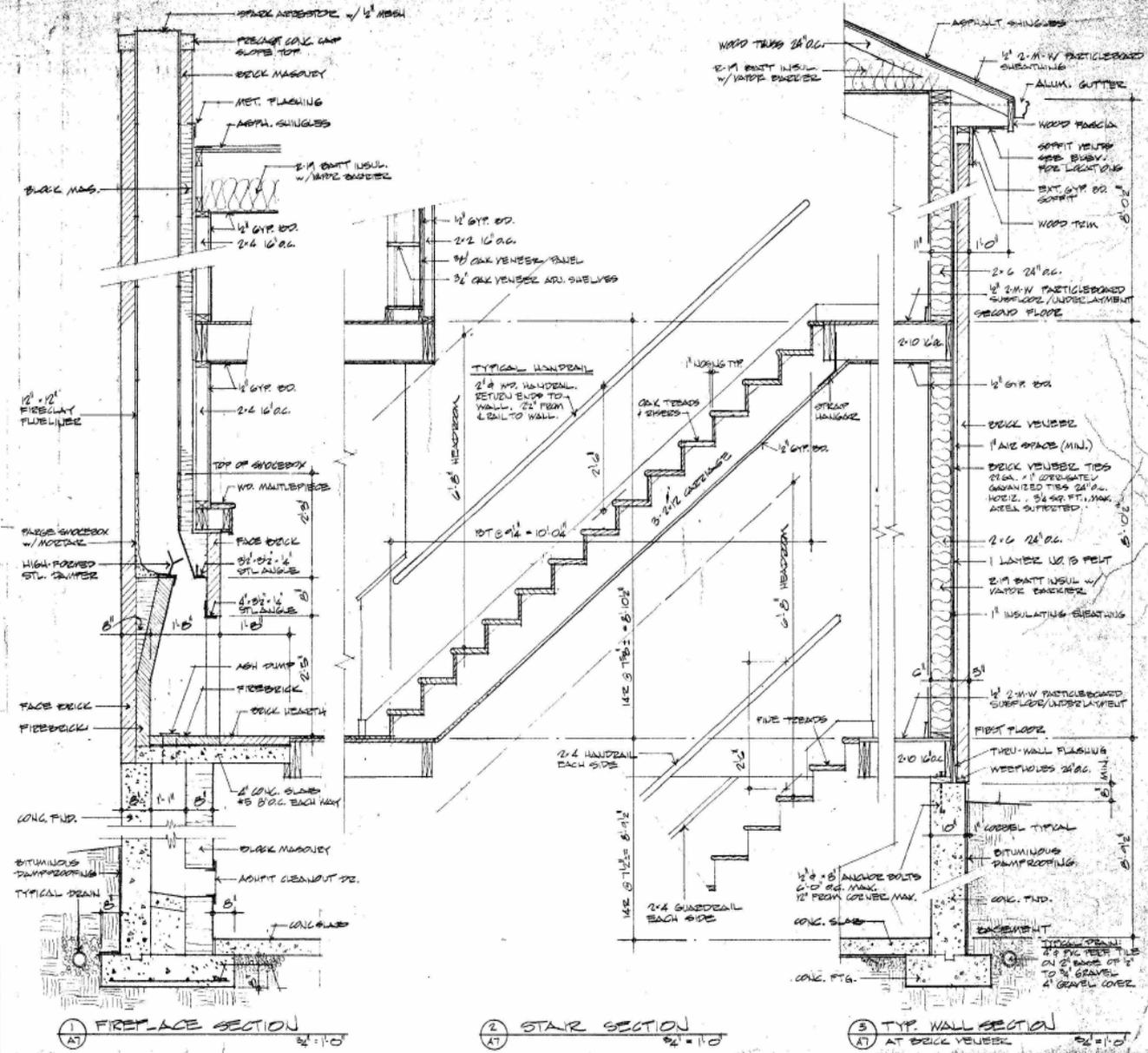
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RESIDENCE FOR
 MR. & MRS. EVEL SMITH III
 500 PARK TRAIL DRIVE
 EVANSTON, ILL.

DAVE WILLIAMS INC.
 ARCHITECTS
 1000 N. LAKE ST.
 CHICAGO, ILL.



ISSUE DATE

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Step 2: Sanitation Review Steps

1. Check bathrooms for proper type of fixtures.
2. Check bathroom for adequate clearances to fixtures.
3. Check kitchen area for sink.
4. Check for sewage disposal system.
5. Check for water supply system.
6. Check for non-absorbent wall surfaces.

Figure R307.1

Minimum Fixture Clearances

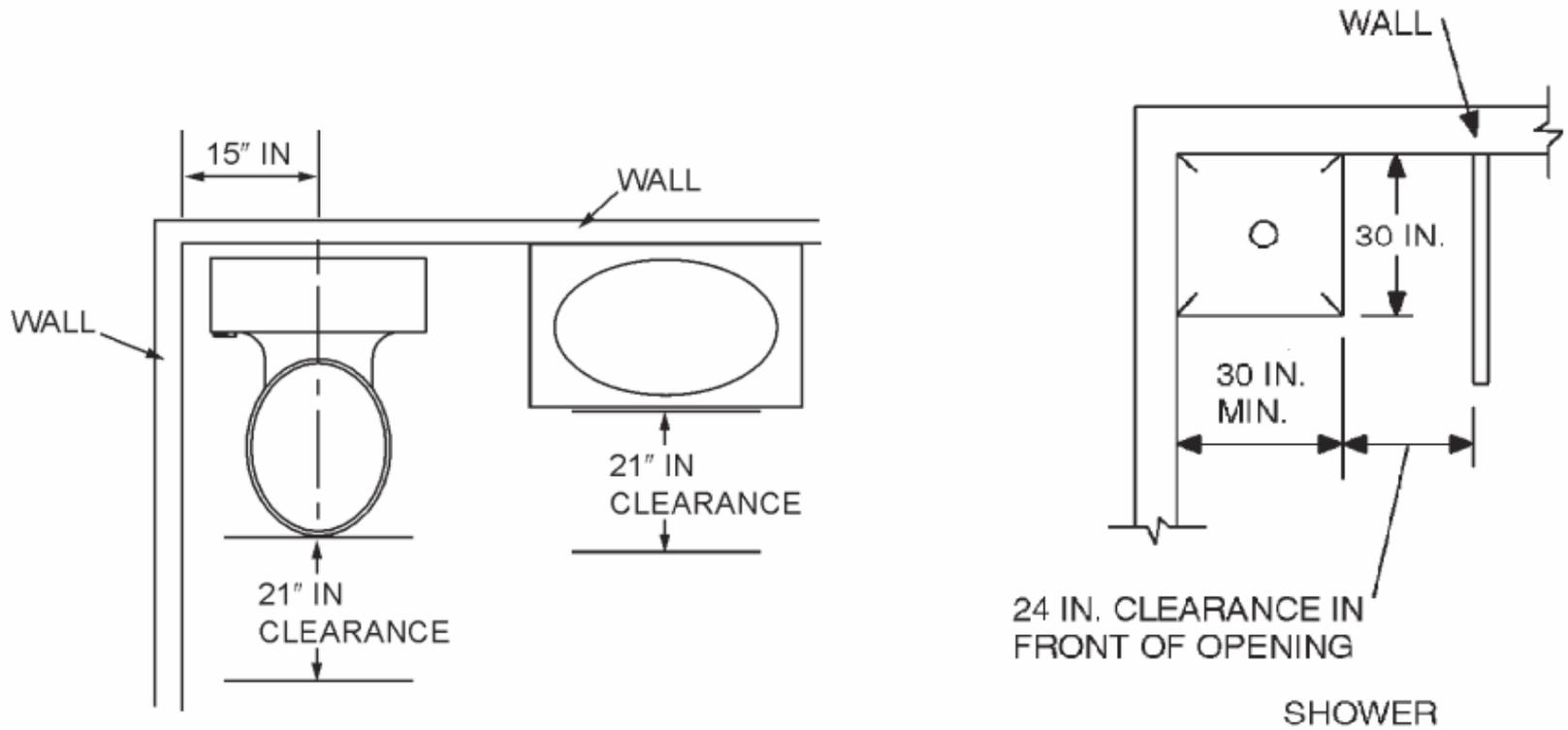
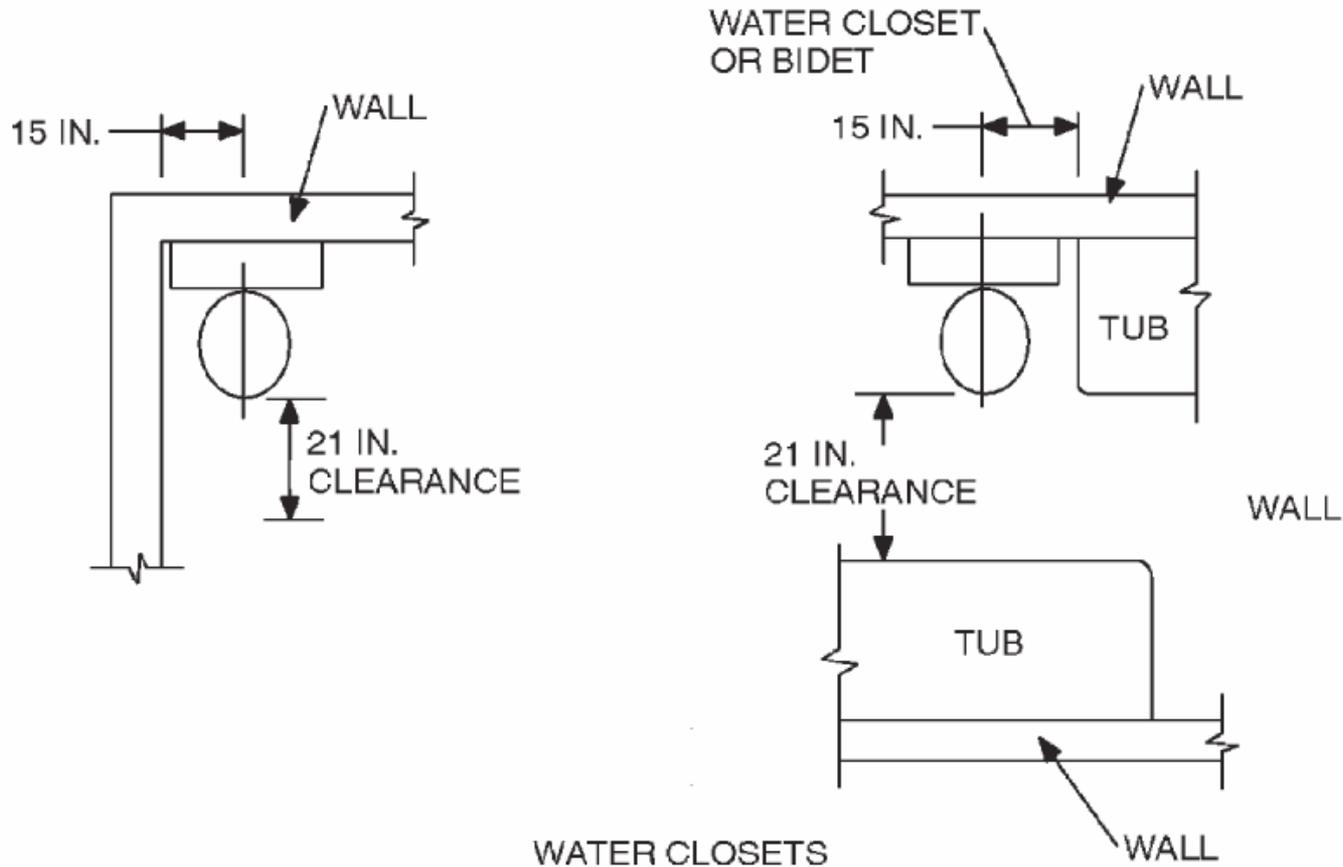


Figure R307.1

Minimum Fixture Clearances



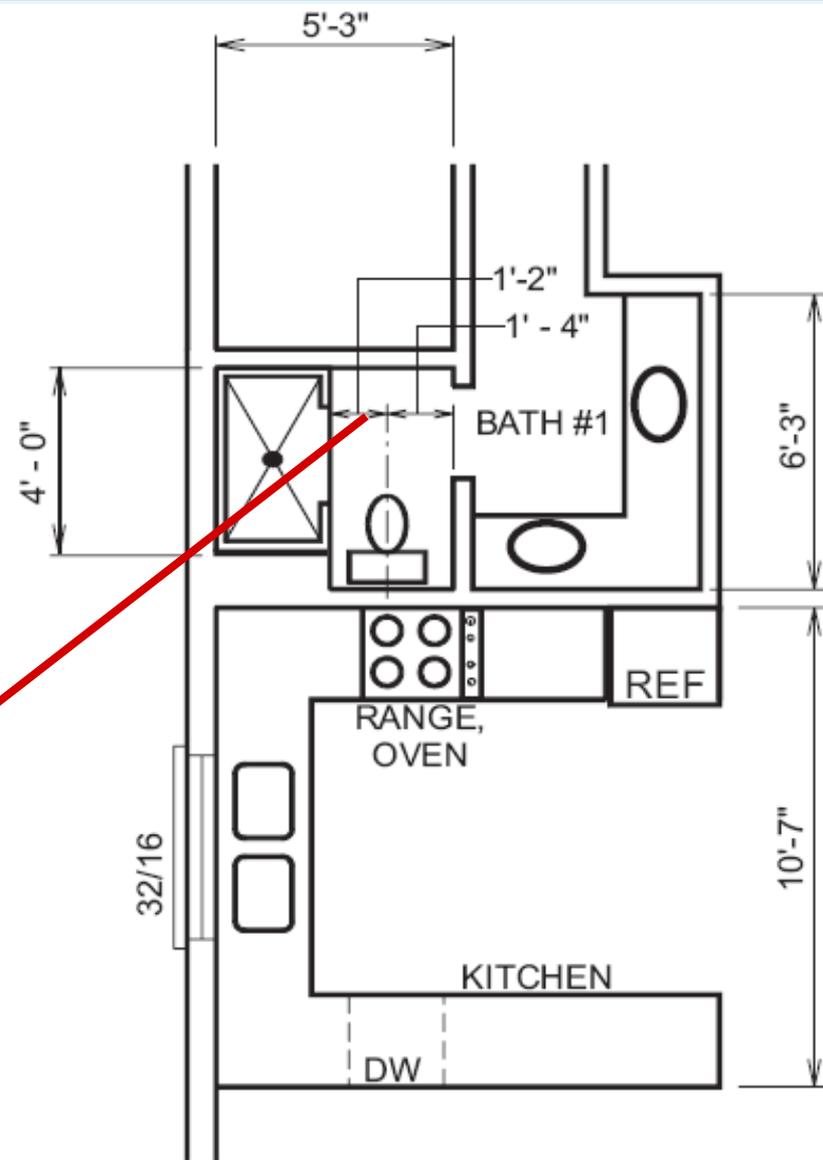


FOR EXAMPLE



Sanitation Review Example

Please refer to 2015 IRC
Section R307.1
Please specify, detail,
and/or note Bath No. 1
floor clearance width
from water closet
centerline to shower
adequate to review for
compliance.



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.





Building Planning Plan Review Activity

- Use the plan review record, page 3, to fill out the Building Planning portion for Sanitation using the set of plans.

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation must be coordinated with the inspection phase (R100) of the project.

BUILDING PLANNING (Chapter 3)

DESIGN CRITERIA (Table R301.2.1(1))

Floor live load (Table R301.5) _____ psf

Roof live load (Table R301.6) _____ psf

Ground snow load _____ psf

Ultimate design wind speed _____ mph

Wind exposure category (R301.2.1.4) _____

High wind design criteria applicable (R301.2.1.1) _____

Seismic design category (SDC) (Figure R301.2(2)) _____

SDC C&D provisions (R301.2.2) _____

Weathering _____

Frost line depth _____

Termite area _____

Decay area _____

Winter design temperature _____

Ice barrier underlayment required _____

Flood hazards _____

Parapets and construction (R302.2.2, R302.2.3) _____

Two-family dwelling separation (R302.3) _____

Dwelling unit penetrations (R302.4) _____

Dwelling/garage opening/penetration protection (R302.5) _____

Dwelling/garage fire separation (R302.6) _____

Under-stair protection (R302.7) _____

Wall and ceiling finishes (R302.9) _____

Flame spread index (R302.9.1) _____

Smoke-developed index (R302.9.2) _____

Testing (R302.9.3, R302.9.4) _____

Insulation (R302.10) _____

Flame spread/smoke-developed (R302.10.1, R302.10.2) _____

Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4) _____

Testing (R302.10.5) _____

FIRE-RESISTANT CONSTRUCTION (R302)

Exterior walls (R302.1, Tables R302.1(1) and R302.1(2)) _____

Townhouse separation (R302.2) _____

Continuity and structural independence (R302.2.1, R302.2.4) _____

Fireblocking (R302.11) _____

Draftstopping (R302.12) _____

Fire protection of floors (R302.13) _____

Combustible insulation clearance (R302.14) _____

ROOM PLANNING REQUIREMENTS (R303 through R305)

Use	Area (ft ²)	Width	Ceiling height [†]	Natural light [†]	Natural ventilation [*]
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N/A	N/A	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N/A	N/A	6'-0"	3 square feet	1.1 square feet

† 6'-0" minimum ceiling height for non-mechanically exhausted rooms. R303.4 for required whole-house mechanical ventilation.

Required heating (R303.5) _____

SANITATION (R306 and R307)

Water closet _____

Lavatory _____

Tub or shower _____

Kitchen area with sink _____

Sanitary sewer (Chapter 30) _____

Private disposal (Appendix I) _____

GLAZING (R308)

Identification (R308.1) _____

Louvered windows or jalousies (R308.2) _____

Human impact loads/hazardous locations (R308.3, R308.4) _____

S Skylights and sloped glazing (R308.6) _____

-3-

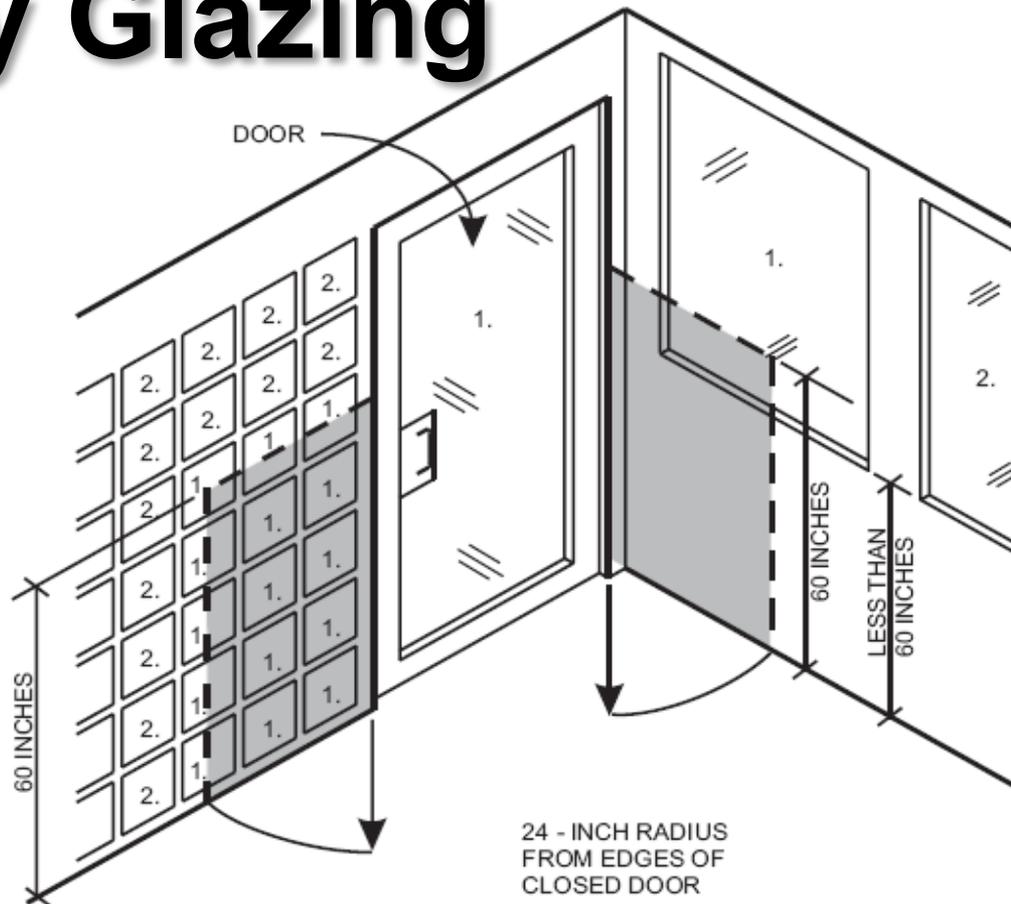


R308 Glazing

1. Check for safety glazing labeling requirements.
2. Check louvered window and jalousies.
3. Check hazardous locations for safety glazing.
4. Check skylight glazing materials.
5. Check skylight for protective screen.
6. Check for skylight roof curbs if the roof pitch is less than 3:12.



Safety Glazing



1. SAFETY GLAZING REQUIRED



2. SAFETY GLAZING NOT REQUIRED
(SEE EXCEPTION 4)



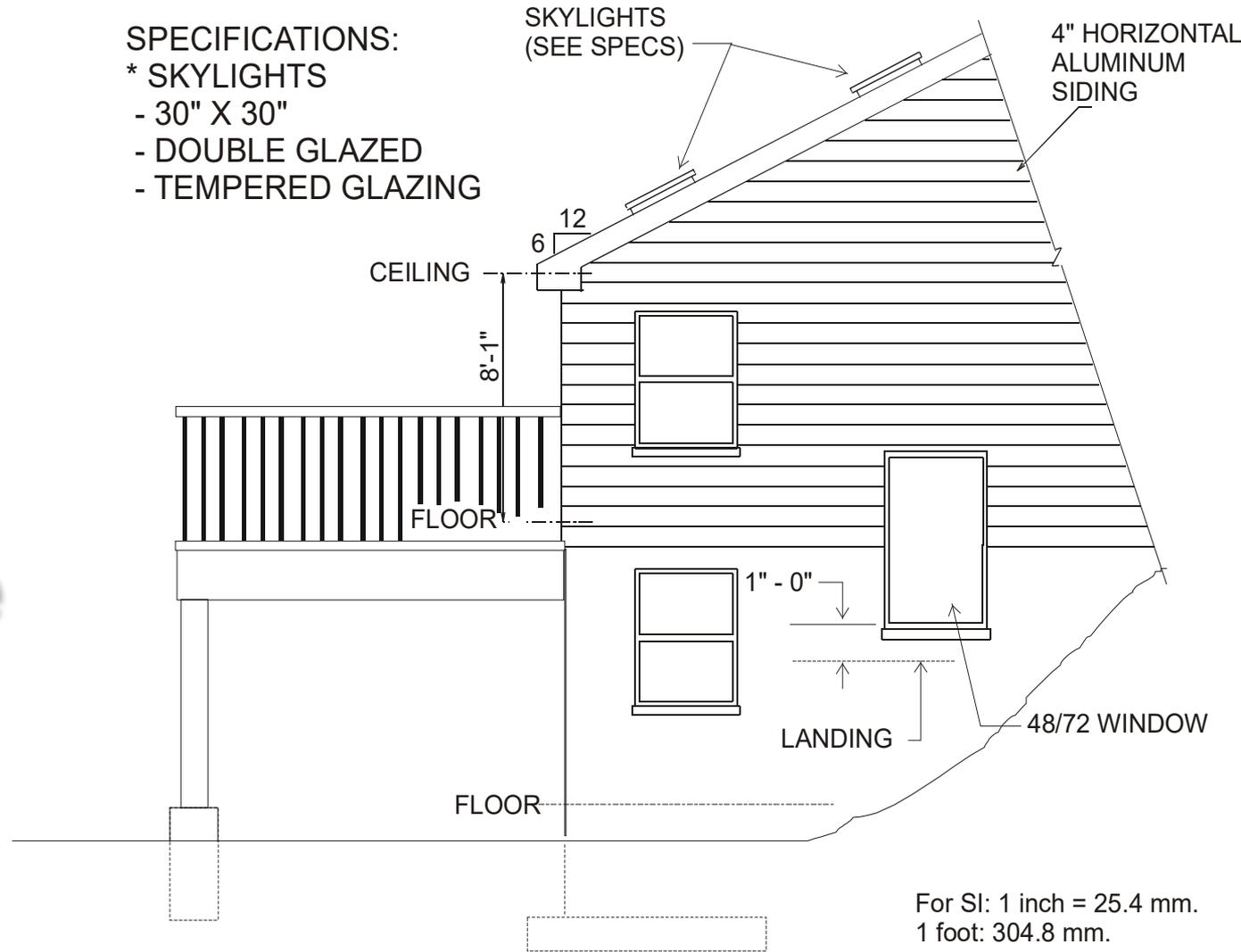
FOR EXAMPLE



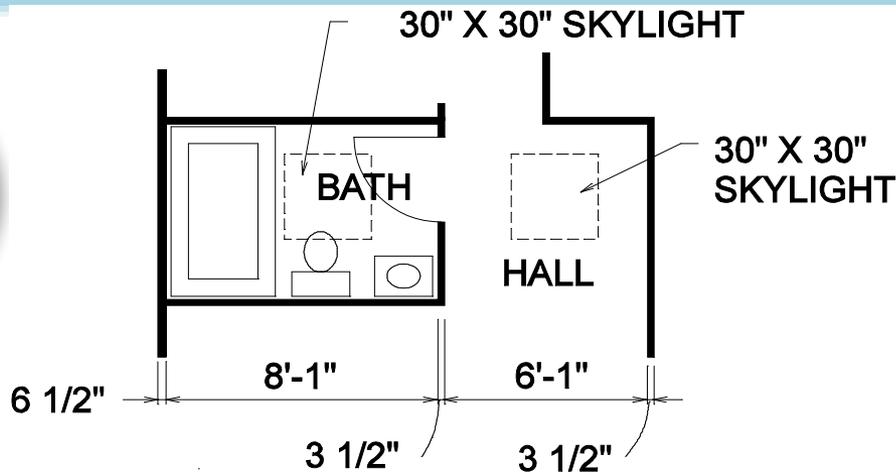
Glazing Review Example

SPECIFICATIONS:

- * SKYLIGHTS
- 30" X 30"
- DOUBLE GLAZED
- TEMPERED GLAZING



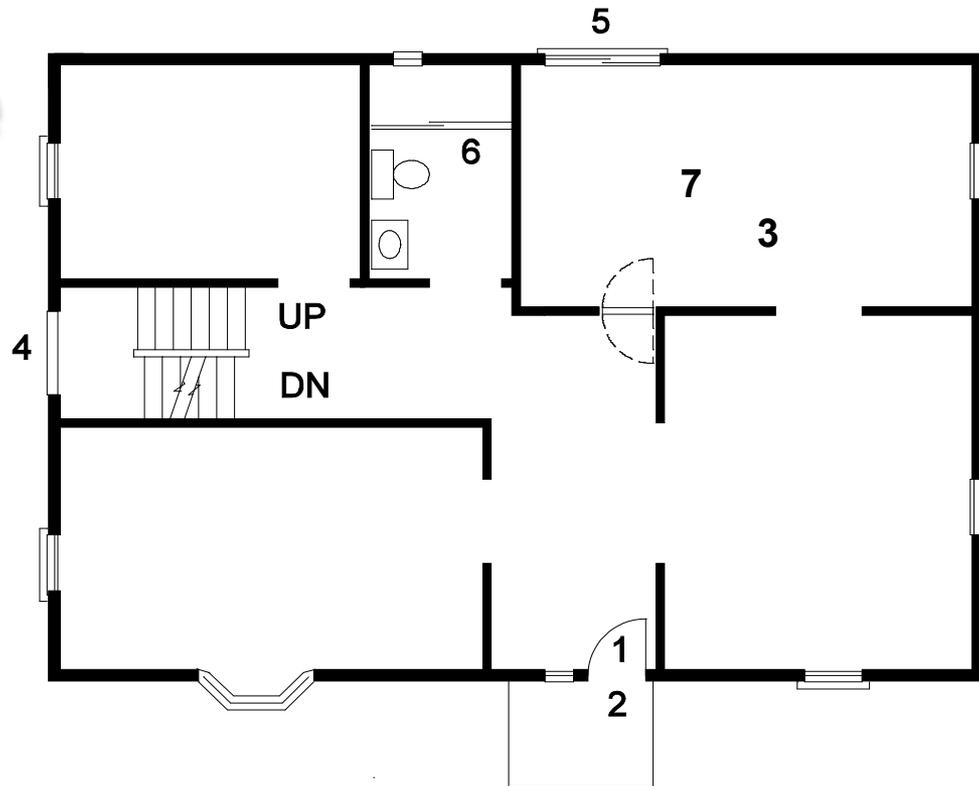
FOR EXAMPLE



Hall skylight top glazing edge more than 12 feet above surface and would require a screen, refer to R308.6.7 for screen requirements. R308.6.2, R308.6.5

Example

Please refer to 2015 IRC Section R308.4. Please specify, detail, and/or note landing window safety glazing adequate to review for compliance.



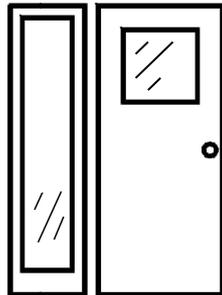
Please refer to 2015 IRC Section R308.4. Please specify, detail, and/or note glazing in door types 1 (including sidelight), 2, 3, 5 and 6 adequate to review for compliance.



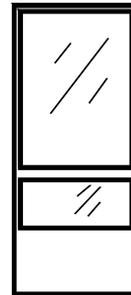


Glazing Review Example

- **Glazing**
Please refer to 2015 IRC Section R308.4. Please specify, detail, and/or note glazing in door types 1 (including sidelight), 2, 3, 5 and 6 adequate to review for compliance.



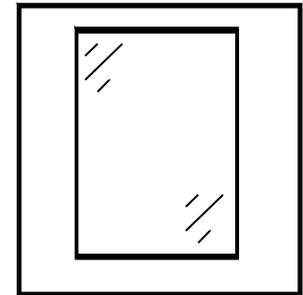
1. EGRESS DOOR WITH SIDELIGHT



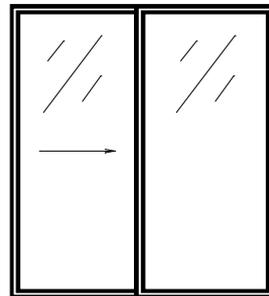
2. STORM DOOR



3. UNFRAMED SWINGING DOOR



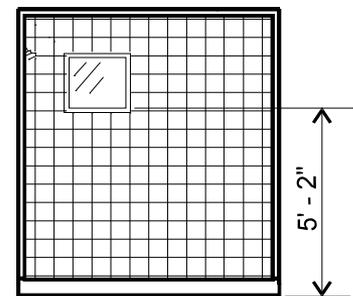
4. FIXED GLASS IN STAIRWAY



5. SLIDING GLASS DOOR



6. SHOWER DOOR



7. WINDOW IN SHOWER ENCLOSURE





Building Planning Plan Review Activity

- Use the plan review record, page 3, to fill out the Building Planning portion for Glazing using the set of plans.

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation must be coordinated with the inspection phase (R100) of the project.

BUILDING PLANNING (Chapter 3)

DESIGN CRITERIA (Table R301.2[1])

Floor live load (Table R301.5) _____ psf

Roof live load (Table R301.6) _____ psf

Ground snow load _____ psf

Ultimate design wind speed _____ mph

Wind exposure category (R301.2.1.4) _____

High wind design criteria applicable (R301.2.1.1) _____

Seismic design category (SDC) (Figure R301.2(2)) _____

SDC C&D provisions (R301.2.2) _____

Weathering _____

Frost line depth _____

Termite area _____

Decay area _____

Winter design temperature _____

Ice barrier underlayment required _____

Flood hazards _____

Parapets and construction (R302.2.2, R302.2.3) _____

Two-family dwelling separation (R302.3) _____

Dwelling unit penetrations (R302.4) _____

Dwelling/garage opening/penetration protection (R302.5) _____

Dwelling/garage fire separation (R302.6) _____

Under-stair protection (R302.7) _____

Wall and ceiling finishes (R302.9) _____

Flame spread index (R302.9.1) _____

Smoke-developed index (R302.9.2) _____

Testing (R302.9.3, R302.9.4) _____

Insulation (R302.10) _____

Flame spread/smoke-developed (R302.10.1, R302.10.2) _____

Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4) _____

Testing (R302.10.5) _____

FIRE-RESISTANT CONSTRUCTION (R302)

Exterior walls (R302.1, Tables R302.1(1) and R302.1(2)) _____

Townhouse separation (R302.2) _____

Continuity and structural independence (R302.2.1, R302.2.4) _____

Fireblocking (R302.11) _____

Draftstopping (R302.12) _____

Fire protection of floors (R302.13) _____

Combustible insulation clearance (R302.14) _____

ROOM PLANNING REQUIREMENTS (R303 through R305)

Use	Area (ft ²)	Width	Ceiling height [†]	Natural light [*]	Natural ventilation [*]
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	6'-8"	3 square feet	1.7 square feet

^{*} See Sections R301.1 & R303.2 for mechanical ventilation and 1" x 6" min. at plumbing fixtures and for non-habitable basements.

Required heating (R303.5) _____

SANITATION (R306 and R307)

Water closet _____

Lavatory _____

Tub or shower _____

Kitchen area with sink _____

Sanitary sewer (Chapter 30) _____

Private disposal (Appendix I) _____

GLAZING (R308)

Identification (R308.1) _____

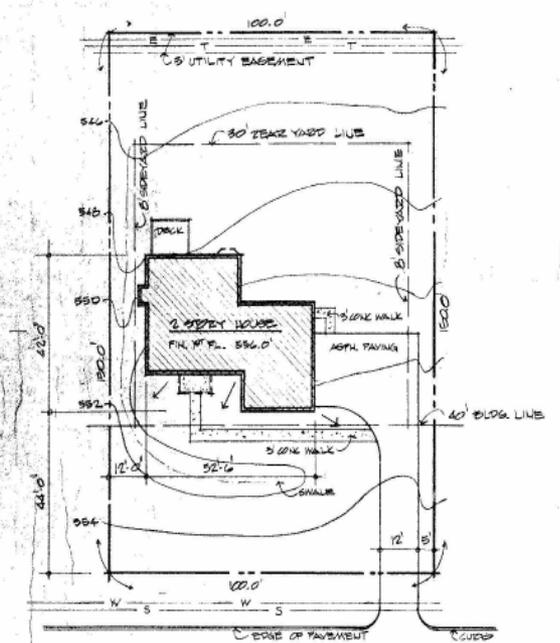
Louvered windows or jalousies (R308.2) _____

Human impact loads/hazardous locations (R308.3, R308.4) _____

Skylights and sloped glazing (R308.6) _____

-3-





DAYTONA BLVD. (60' R.O.W.)

PLOT PLAN

1" = 20'

REMARK: ELEVATION 557.0 TOP OF MANHOLE COVER AT INTERSECTION OF DAYTONA BLVD. & MATHEWS GLEN RD.

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SPECIFICATION

GENERAL REQUIREMENTS:
Contract will be AIA A197. Lien waivers will be required at the completion of the project. Contractor to visit the site and verify existing conditions prior to bidding. General Contractor to supply for, pay for, and pick up all permits.

Insurance: Worker's Compensation-Statutory, Comprehensive General Liability, Comprehensive Automobile Liability, and Owner's Liability all by General Contractor. Certificates shall be filed with Owner before beginning work. Owner to provide Property Insurance based on completed value.

SITING:
All sitework to be coordinated with Landscape Work. Asphalt paving shall be 2" on top of 6" gravel base.

Excavate and backfill: All debris to be removed from site promptly. Protect interior and exterior work at perimeter of addition with EPA approved termite bait by baifide pest control company.

Landscape by Owner:

CONCRETE:
Air entrain exposed side. Concrete shall have a strength of 3000 psi at 28 days.

MASONRY:
All brick laid up 3 courses per ft. Brick veneer ties as indicated on drawings. Provide 3 oz. copper/lead through-wall flashing at bottom of walls and at all joints. Seal laps.

Roofs to be full height, open headjoints at 24 in. At the base of brick veneer, provide #15 felt board breaker under flashing 4 feet in both directions at all corners.

CARPENTRY:
Floor and wall framing shall be as follows: Floor Construction - No. 2 Proderum Pine, Wall Construction - Stud grade or No. 2 2 x 4's. Interior loadbearing studs Δ at 16" oc. Plates or concrete shall be pressure-treated.

Trim Design Loads: 20 psf snow load, 10 psf wind load, dead load on top chord 10 psf, dead load bottom chord 5 psf. Manufacturer shall submit cross drawings and calculations for permit.

All Deck walk surfaces, posts, and railings shall be clear grade redwood. Concealed framing below deck shall be pine.

THERMAL AND MOISTURE PROTECTION:

Apply 1 coat bituminous waterproofing per manufacturer's recommendation. Unless otherwise indicated, best insulation to be foil faced fiberglass, R-value as indicated.

Lap siding shall be 8" exposure vinyl siding. Include all corner, window and door trim necessary for a complete installation.

Insulating sheathing shall be closed-cell extruded polystyrene foam board with shiplap edges in thickness indicated. Insulate per manufacturer's recommendations.

Foam insulation in crawl space shall be closed-cell extruded polystyrene foam in thickness indicated, applied with adhesive per manufacturer's recommendations.

Asphalt shingles to be 240 lb. self-sealing. Apply per manufacturer's recommendation.

All flashing, gutters and downspouts shall be prefinished aluminum.

Exterior ceiling shall be one part urethane applied per manufacturer's instructions. Interior ceiling shall be acrylic base.

Skiff vents to be stamped, pre-finished aluminum, 8" x 16" (48 sq. in. net free area). Vents at roof to be diameter with insect screens, 15" x 16" (50 sq. in. net free area).

Skylights to be fixed, self-flashing, solar grey, double-glazed, both lines fully tempered.

DOORS AND WINDOWS:
Windows and Sliding Patio Doors shall be vinyl clad, white finish, with Type II System glazing, hardware and sills. Provide grilles at units as indicated. Provide screens at all operable units. Overhead doors at Garage to be steel raised panel door, non-insulated, with all necessary hardware for a complete installation.

FINISHES:

Provide standard gypsum board for interior work, WR board at wet plumbing walls. Gypsum board shall receive 3 coat tape job. Commission header board behind the end cultured marble.

Paint exterior wood 2 coats acrylic primer, 1 coat exterior latex sheen.

All gypsum board shall receive 1 coat PVA primer first coat of latex the paint, unless otherwise noted.

All door and window casings to be painted. All interior doors to be painted. Interior wood painted: enamel undercoat, two top coats eggshell finish/alkyd base. Prime gypsum board that is to be papered with one coat alkylid enamel undercoat. Subsequent coats shall receive 2 coats Moisture-urea-glass enamel.

1/26/2015/10

GENERAL NOTES

1. ALL HEADINGS TO BE 2-2x12 UNLESS OTHERWISE NOTED.
2. ALL STEEL LUTELS SUPPORTING BEAM MANUALLY TO BE 2x12 UNLESS OTHERWISE NOTED.

DESIGN CRITERIA

FIRST LEVEL	2'-0"
SEISMOIC ZONE	2
FIRST FLOOR: LL	40 LBS/FT ²
SECOND FLOOR: LL	30 LBS/FT ²
ROOF: LL	10 LBS/FT ²
DL	10 LBS/FT ²

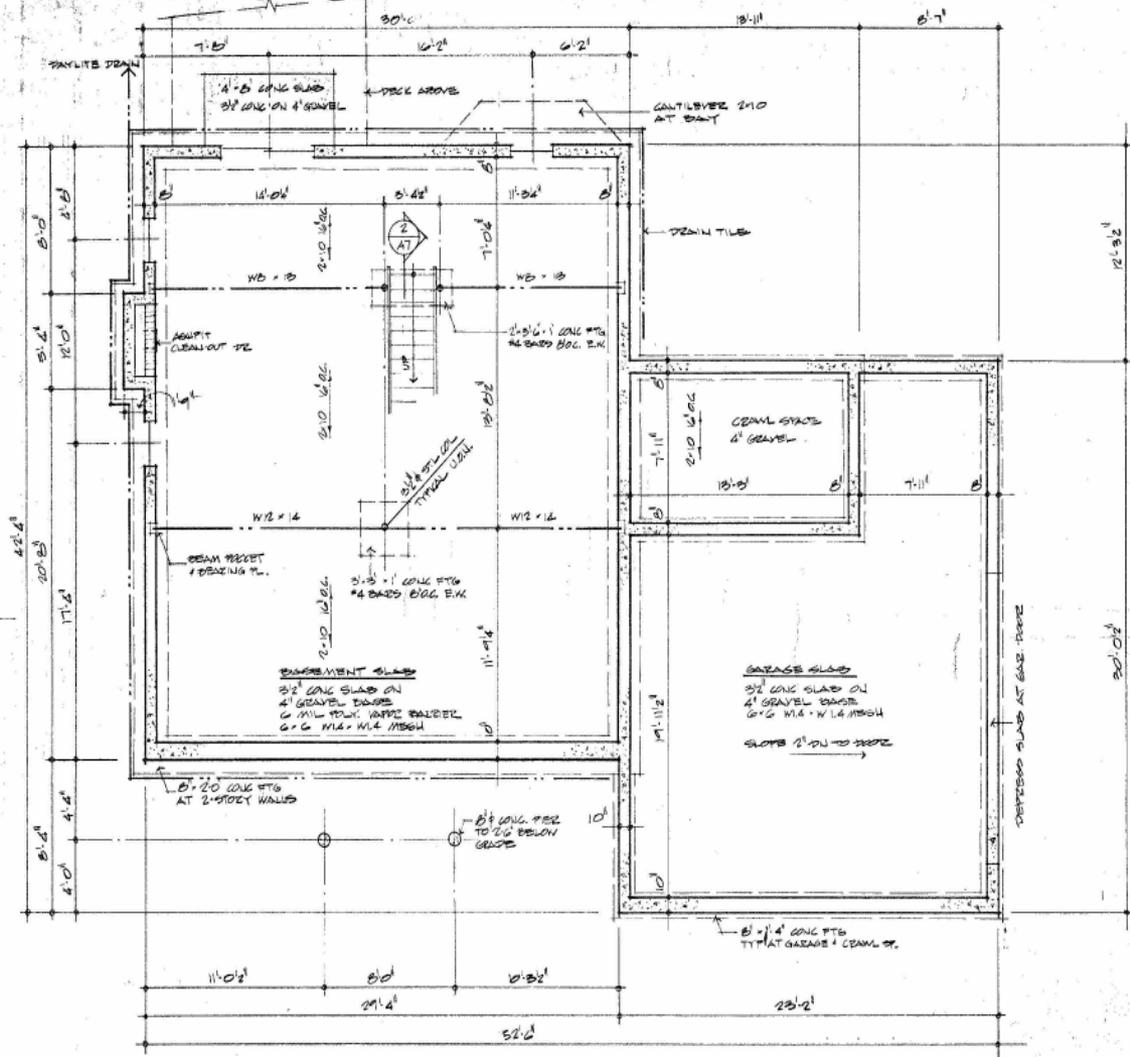
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500 EASTMAN BLVD. EVANSHURV, USA

KASST WILLIAMS, INC.
ARCHITECTS
500 E. PARK DR.
EVANSHURV, USA



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BASEMENT PLAN



4' - 11.0"

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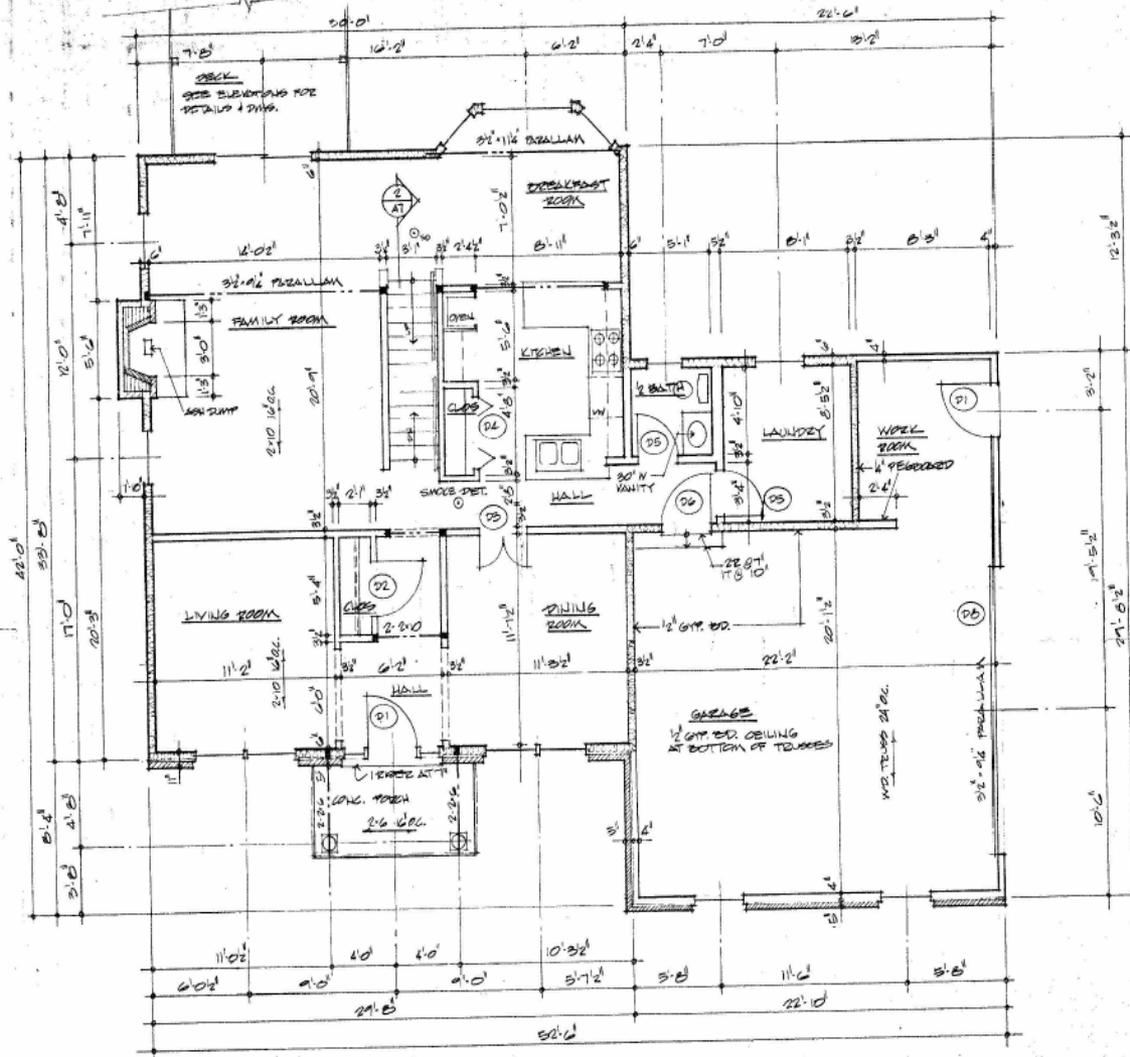
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FIRST FLOOR PLAN

4'-1-0"

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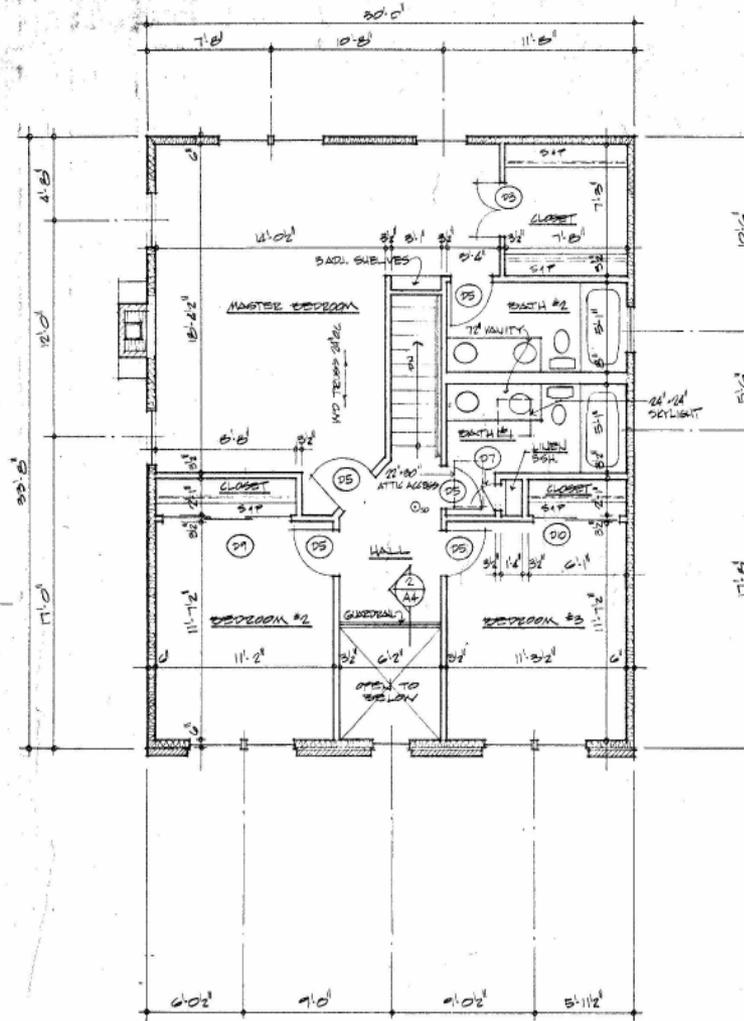


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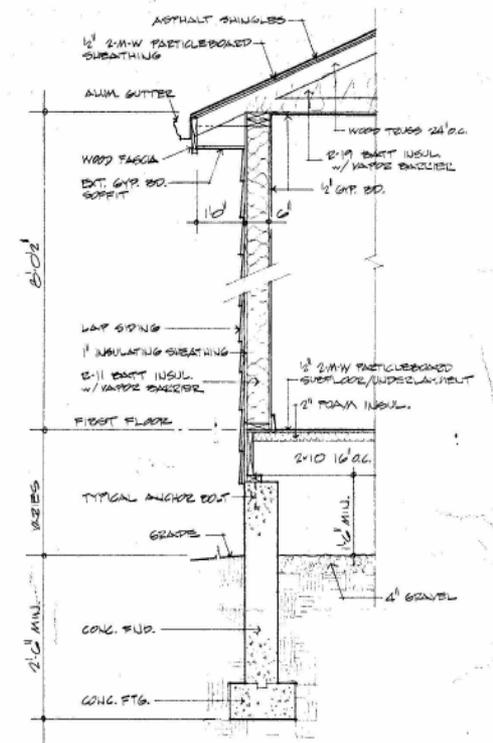




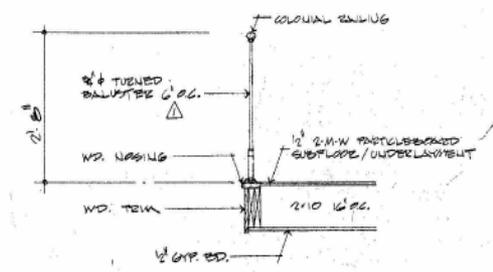
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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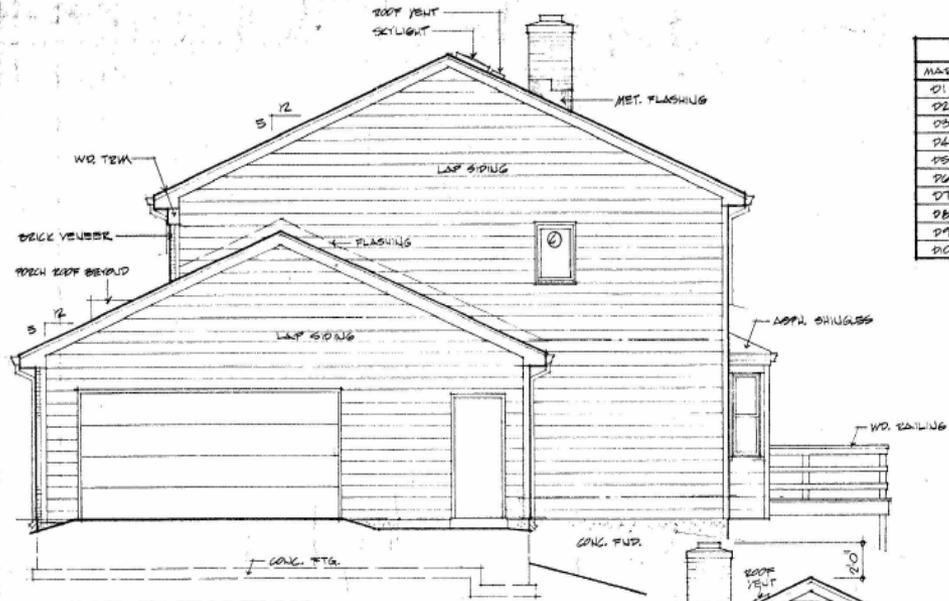


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
						REQ'D
D	36" x 24"	LIVING ROOM	116.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST	62.0	14.5	10.7	5.3
F	24" x 24"	1/2 BATH	22.5	3.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.3
F	36" x 24"	BEDROOM				25.65
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	30 CFM
C	24" x 24"	BATH #2	52.5	2.0	5.5	2.6
B	36" x 24"	BEDROOM	300.0	22.0	34.9	22.0
D	36" x 24"	BEDROOM #2	121.0	10.2	22.0	5.2



EAST ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE		
MATERIAL	SIZE	TYPE
D1	36" x 68"	MET. ENTRY
D2	36" x 68"	PANELED WOOD
D3	36" x 68"	PANELED WOOD
D4	40" x 68"	PANELED W.D. BRAD
D5	24" x 68"	PANELED W.D.
D6	36" x 68"	1 1/2" SOLID WOOD W.P.
D7	12" x 68"	PANELED W.D.
D8	72" x 68"	PANELED MET. GARAGE
D9	36" x 68"	W.D. EXTERIOR FLASH
D0	36" x 68"	W.D. EXTERIOR FLASH

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Step 4: Garage Review

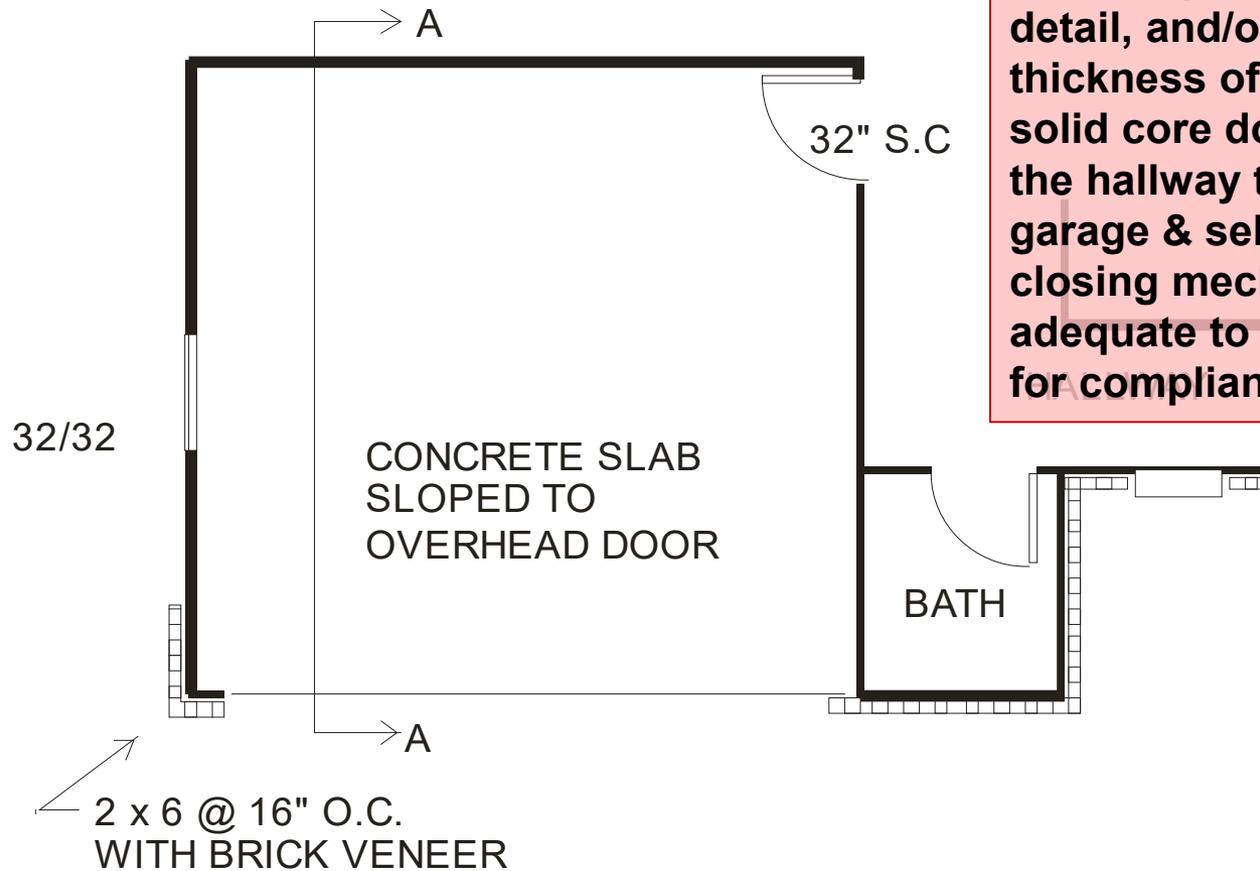
1. Check for openings between garage and sleeping rooms.
2. Check for proper door opening protection, duct and other penetrations.
3. Check for separation between garage and living spaces.
4. Check floor material.
5. Check for floor slope and drains.
6. Check for carport requirements.
7. Check automatic garage door openers are in accordance with UL 325.



FOR EXAMPLE



Garage Review



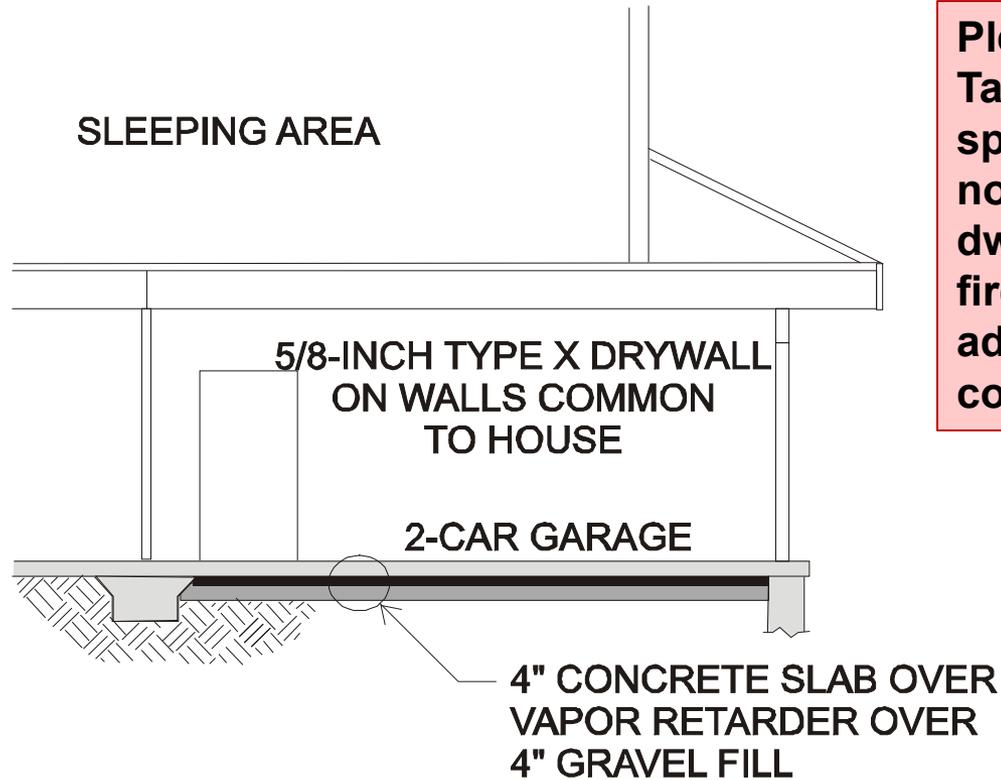
Please refer to 2015 IRC Section R302.5.1 Please specify, detail, and/or note thickness of the solid core door from the hallway to garage & self-closing mechanism adequate to review for compliance.



FOR EXAMPLE



Garage Review



Please refer to 2015 IRC Table R302.6. Please specify, detail, and/or note the required dwelling-garage ceiling fire separation adequate to review for compliance.

SECTION A

For SI: 1 inch = 25.4 mm.





Building Planning Plan Review Activity

BUILDING PLANNING (cont'd.)

GARAGES AND CARPORTS (R309)

_____ Floor surface noncombustible; sloped floor (R309.1)

_____ Carport: open two sides; noncombustible floors; sloped floor (R309.2)

_____ Automatic garage door opener (R309.4)

_____ Fire sprinklers (R309.5)

_____ Opening limitations (R312.1.3)

_____ Window fall protection (R312.2)

AUTOMATIC FIRE SPRINKLER SYSTEMS (R313)

_____ Townhouses (R313.1)

_____ One- and two-family dwellings (R313.2)

SMOKE ALARMS (R314)

_____ Referenced standards (R314.1, R314.2)

_____ Location and interconnection (R314.3, R314.5)

_____ Power source (R314.4)

CARBON MONOXIDE ALARMS (R315)

_____ New construction (R315.1, R315.2)

_____ Existing construction (R315.3)

_____ Referenced standard (R315.4)

FOAM PLASTIC (R302.8, R316)

_____ Labeling (R316.2)

_____ Surface burning, thermal barrier, specific approval (R316.3 - R316.7)

DECAY AND TERMITES PROTECTION (R317 and R318)

_____ Protection required (Table R301.2(1), R317.1, R318.1)

_____ Quality mark (R317.2 and R318.1.1)

SITE ADDRESS (R319)

_____ Address numbers (R319.1)

ACCESSIBILITY (R320)

_____ Type B dwelling units applicable (R320.1)

ELEVATORS/PLATFORM LIFTS (R321)

_____ Referenced standards (R321.1 - R321.3)

FLOOD-RESISTANT CONSTRUCTION (R322)

_____ General (R322.1)

_____ Hazard area and requirements (R301.2.4, R309.3, R322.2, R322.3)

_____ Design professional (R322.3.6)

STORM SHELTERS (R323)

_____ General/referenced standard (R323.1)

MEANS OF EGRESS (R311)

_____ General (R311.1)

_____ Egress door (R311.2)

_____ Landings at exterior doors (R311.3 - R311.3.3)

_____ Vertical egress (R311.4)

_____ Construction and attachment (R311.5)

_____ Hallways (R311.6)

_____ Stairway width, headroom, vertical rise, walkline (R311.7.1 - R311.7.4)

_____ Stairway treads, risers profiles (R311.7.5 - R311.7.5.4)

_____ Stairway landings and walking surfaces (R311.7.6, R311.7.7)

_____ Handrails required (R311.7.8)

_____ Handrail height, continuity, grip-size (R311.7.8.1 - R311.7.8.4)

_____ Stairway illumination (R303.6, R311.7.9)

_____ Special stairways (R311.7.10)

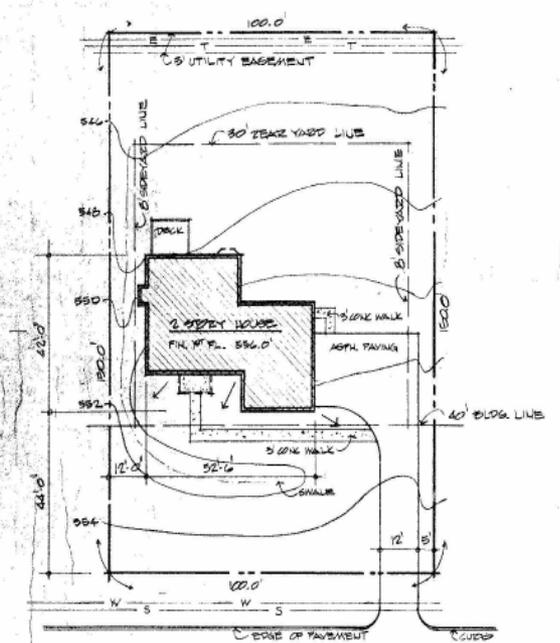
_____ Ramp slope, landings, handrails (R311.8)

GUARDS AND WINDOW PROTECTION (R312)

_____ Required for open-sided surfaces, stairs, ramps and landings > 30" above floor grade (R312.1.1)

_____ Height - 36" (R312.1.2)

- Use the plan review record, page 4, to fill out the Building Planning portion for Garages and Carports using the set of plans.



DAYTONA BLVD. (60' R.O.W.)

PLOT PLAN

1" = 20'0"

REMARK: ELEVATION 557.0 TOP OF MANHOLE COVER AT INTERSECTION OF DAYTONA BLVD. & MATHEWS GLEN RD.

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SPECIFICATION

GENERAL REQUIREMENTS:

Contract will be AIA A197. Lien waivers will be required at the completion of the project. Contractor to visit the site and verify existing conditions prior to bidding. General Contractor to supply for, pay for, and pick up all permits.

Insurance: Worker's Compensation-Statutory, Comprehensive General Liability, Comprehensive Automobile Liability, and Owner's Liability all by General Contractor. Certificates shall be filed with Owner before beginning work. Owner to provide Property Insurance based on completed value.

SITEWORK:

All site work to be coordinated with Landscape Work. Asphalt paving shall be 3" on top of 6" gravel base.

Excavate and backfill: All debris to be removed from site promptly. Protect interior and exterior work at perimeter of addition with EPA approved termite bait by baifide post control company.

Landscape by Owner:

CONCRETE:
Air entrain exposed slab. Concrete shall have a strength of 3000 psi at 28 days.

MASONRY:

All brick laid up 3 courses per ft. Brick veneer ties as indicated on drawings. Provide 3 oz. copper/lead through-wall flashing at bottom of walls and at all joints. Seal laps.

Woods to be full height, open headjoints at 24 in.

At the base of brick veneer, provide #15 felt board breaker under flashing 4 feet in both directions at all corners.

CARPENTRY:

Floor and wall framing shall be as follows: Floor Construction - No. 2 Proderon Stud, Wall Construction - Stud grade or No. 2 2 x 4's. Interior loadbearing studs Δ at 16" oc. Plates on corners shall be pressure-treated.

Trim Design Loads: 20 psf snow load, 10 psf wind load, dead load on top chord 10 psf, dead load bottom chord 5 psf. Manufacturer shall submit cross drawings and calculations for permit.

All Deck with surface, posts, and railings shall be clear grade redwood. Concealed framing below deck shall be pine.

THERMAL AND MOISTURE PROTECTION:

Apply 1 coat bituminous waterproofing per manufacturer's recommendation.

Unless otherwise indicated, fast insulation to be foil faced fiberglass, R-value as indicated.

Lap siding shall be 8" exposure vinyl siding. Include all corner, window and door trim necessary for a complete installation.

Insulating sheathing shall be closed-cell extruded polystyrene foam board with shiplap edges in thickness indicated, fastened per manufacturer's recommendations.

Foam insulation in crawl space shall be closed-cell extruded polystyrene foam in thickness indicated, applied with adhesive per manufacturer's recommendations.

Asphalt shingles to be 240 lb. self-sealing. Apply per manufacturer's recommendation.

All flashing, gutters and downspouts shall be prefinished aluminum.

Exterior ceiling shall be one part urethane applied per manufacturer's instructions. Interior ceiling shall be acrylic base.

Soffit vents to be stamped, pre-finished aluminum, 8" x 16" (48 sq. in. net free area). Vents at roof to be aluminum with insect screens, 15" x 16" (50 sq. in. net free area).

Skylights to be fixed, self-flashing, solar grey, double-glazed, both lines fully tempered.

DOORS AND WINDOWS:

Windows and Sliding Patio Doors shall be vinyl clad, white finish, with Type II Systems glazing, hardware and sills. Provide grilles at units as indicated. Provide screens at all operable units. Overhead doors at Garage to be steel raised panel door, non-insulated, with all necessary hardware for a complete installation.

FINISHES:

Provide standard gypsum board for interior work, WR board at wet plumbing walls. Gypsum board shall receive 3 coat top job. Commission header board behind tile and cultured marble.

Paint exterior wood 2 coats acrylic primer, 1 coat exterior latex sheen.

All gypsum board shall receive 1 coat PVA primer first coat of latex the paint, unless otherwise noted.

All door and window casings to be painted. All interior doors to be painted. Interior wood painted: enamel undercoat, two top coats eggshell finish/alkyd base. Prime gypsum board that is to be papered with one coat alkylid enamel undercoat. Subsequent coats shall receive 2 coats Moisture-resis-gloss enamel.

DATE: 08/19

GENERAL NOTES

1. ALL HEADINGS TO BE 2-2x12 UNLESS OTHERWISE NOTED.
2. ALL STEEL LUTELS SUPPORTING BEAM MANHOLE TO BE 2x12x6 UNLESS OTHERWISE NOTED.

DESIGN CRITERIA

FIRST LEVEL	2'-0"
SEISMIC ZONE	2
FIRST FLOOR: LL	40 LBS/SQ FT
SECOND FLOOR: LL	30 LBS/SQ FT
ROOF: LL	10 LBS/SQ FT
DL	10 LBS/SQ FT

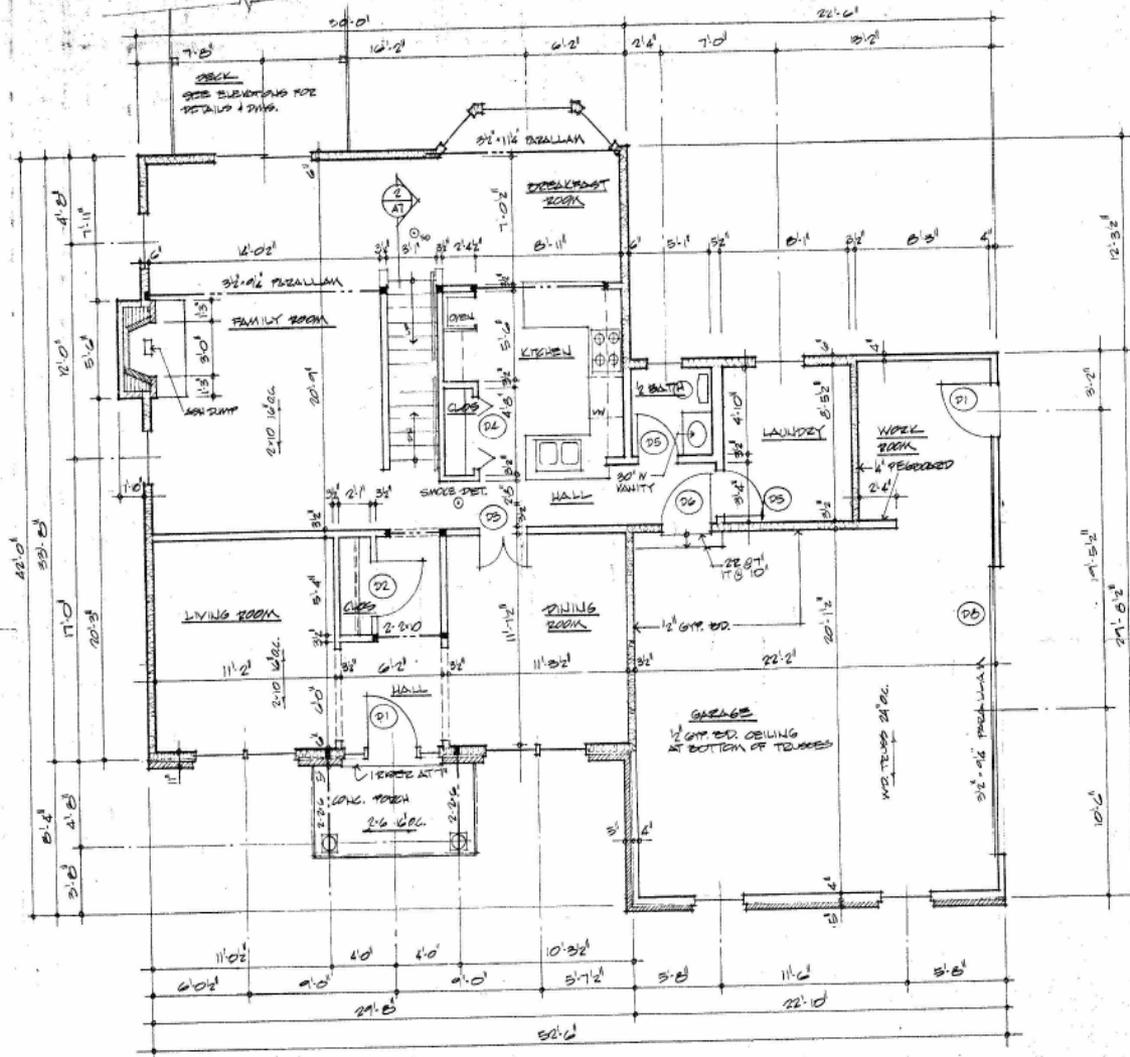
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FIRST FLOOR PLAN

4'-1'-0"

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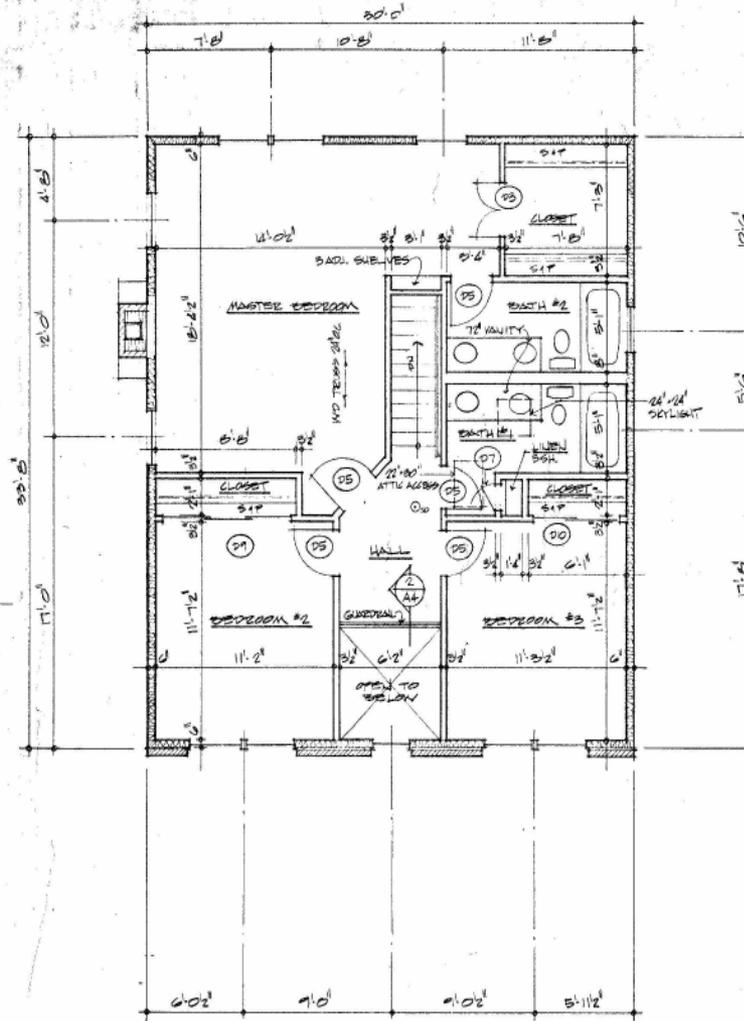


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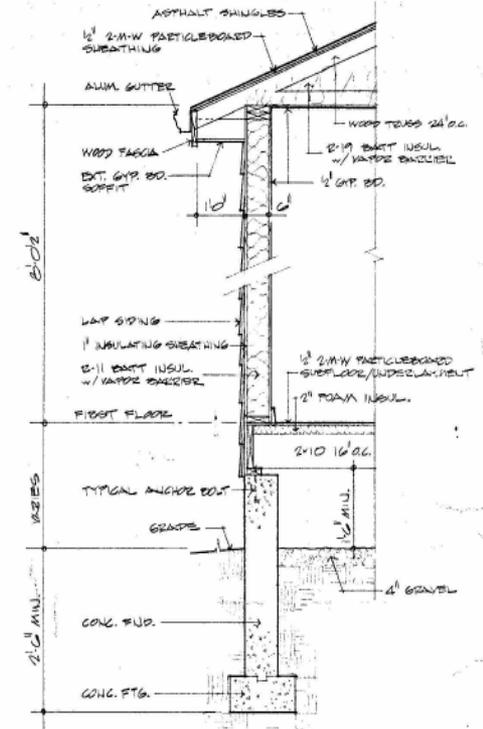




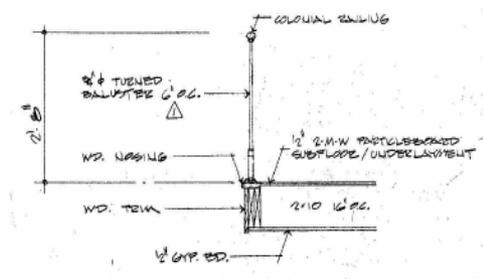
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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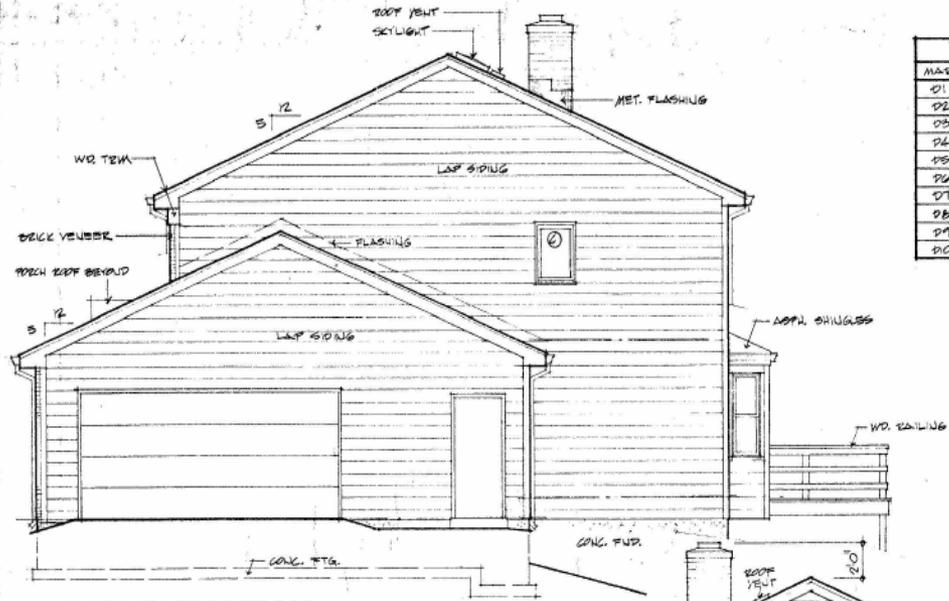


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
						REQ'D
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST	62.0	14.1	10.7	5.3
F	24" x 24"	LANDRY	22.5	3.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.8
F	36" x 24"	BEDROOM	120.5	10.2	22.0	5.2
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	30 CFM
C	24" x 24"	BATH #2	52.5	2.0	4.0	2.6
B	36" x 18"	SCREENED	300.0	40.0	34.9	22.0
D	36" x 24"	BEDROOM #3	121.0	10.2	22.0	11.0



EAST ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE		
MARK	SIZE	TYPE
D1	36" x 68"	MET ENTRY
D2	36" x 68"	PANELED WOOD
D3	36" x 68"	PANELED WOOD
D4	48" x 68"	PANELED WOOD BRAD
D5	24" x 68"	PANELED WOOD
D6	36" x 68"	1 1/2" SOLID WOOD W.P.
D7	12" x 68"	PANELED WOOD
D8	72" x 68"	PANELED MET. GARAGE
D9	36" x 68"	WOOD EXTERIOR FLASH
D0	36" x 68"	WOOD EXTERIOR FLASH

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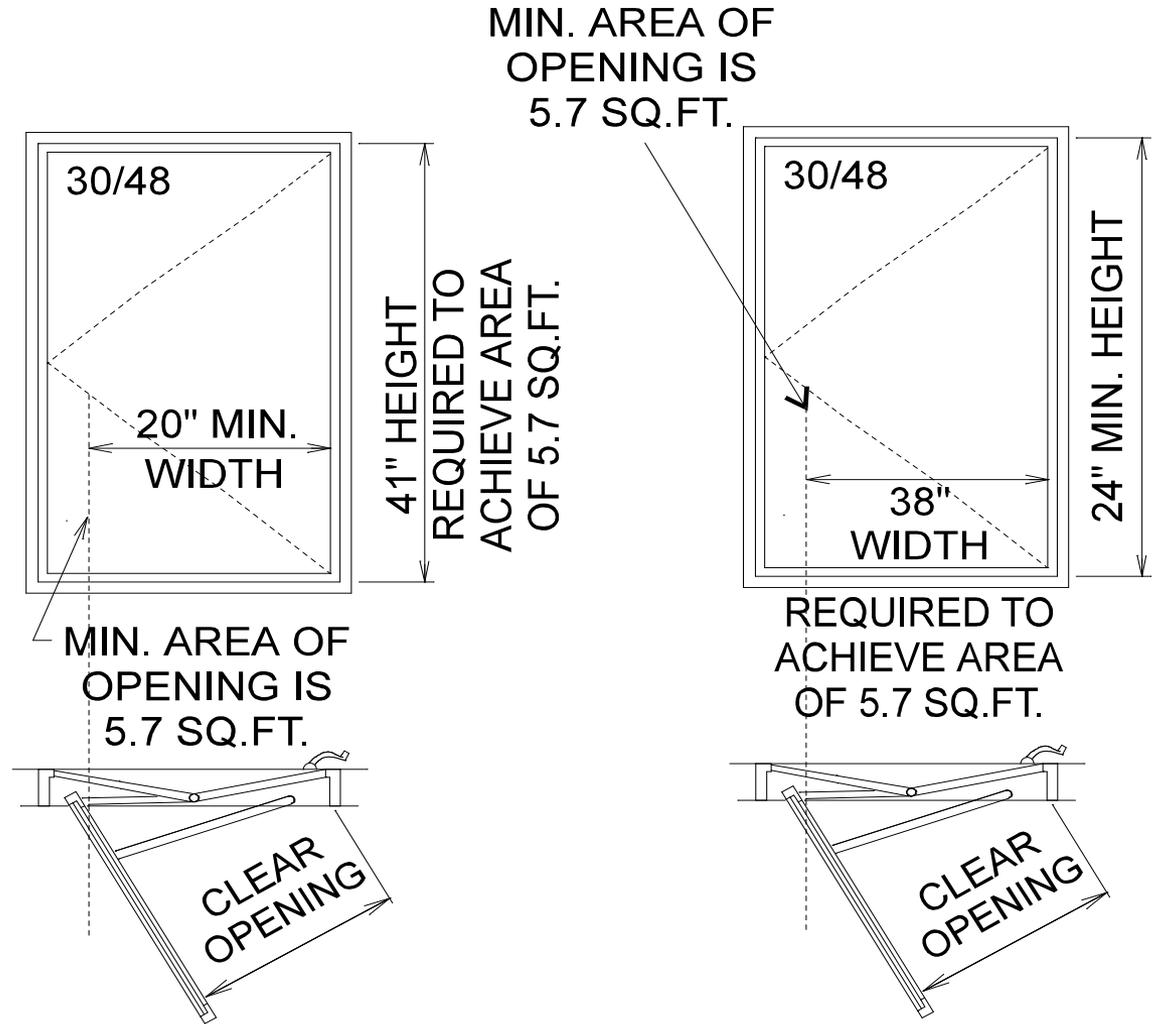
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Step 5: Egress Review Steps

1. Check sleeping rooms for means of emergency escape and rescue.
2. Check landings at egress doors.
3. Check for under stair protection.
4. Check hallway width.
5. Locate the required exit door.
6. Check the size and type of exit door.
7. Check stairways.
8. Check handrails.
9. Check stairway illumination.
10. Check any winder and circular stairways.
11. Check any spiral stairways.
12. Check ramps.
13. Check guards.

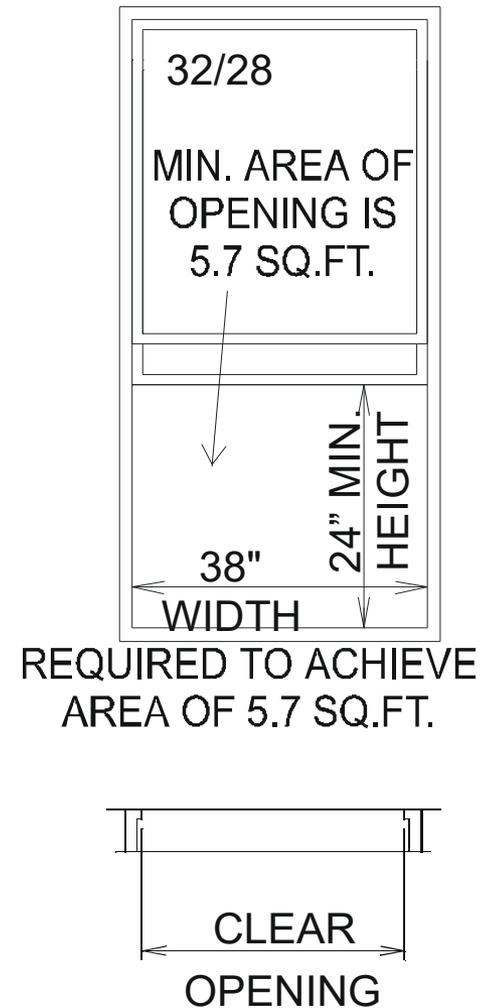
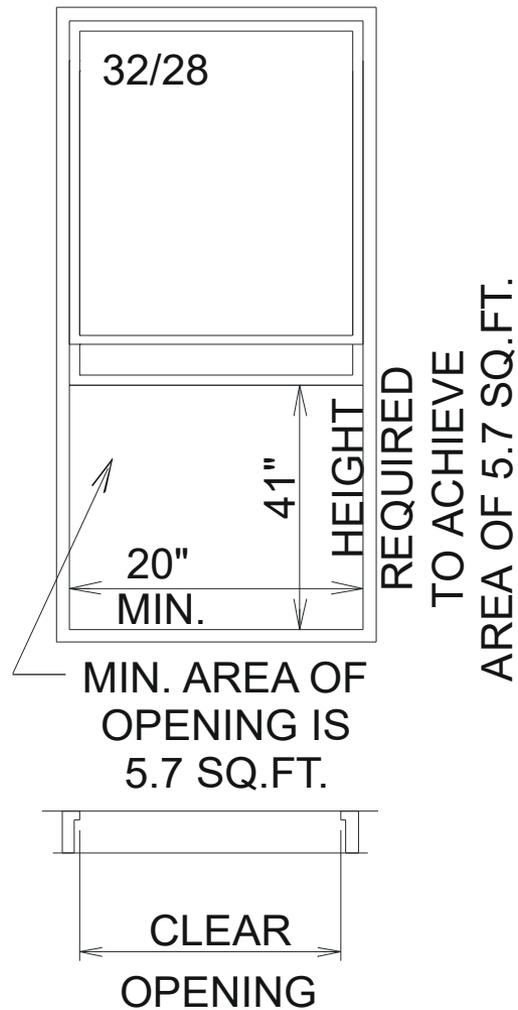
R310 Emergency Escape and Rescue Openings



**Casement
Window**

R310 Emergency Escape and Rescue Openings

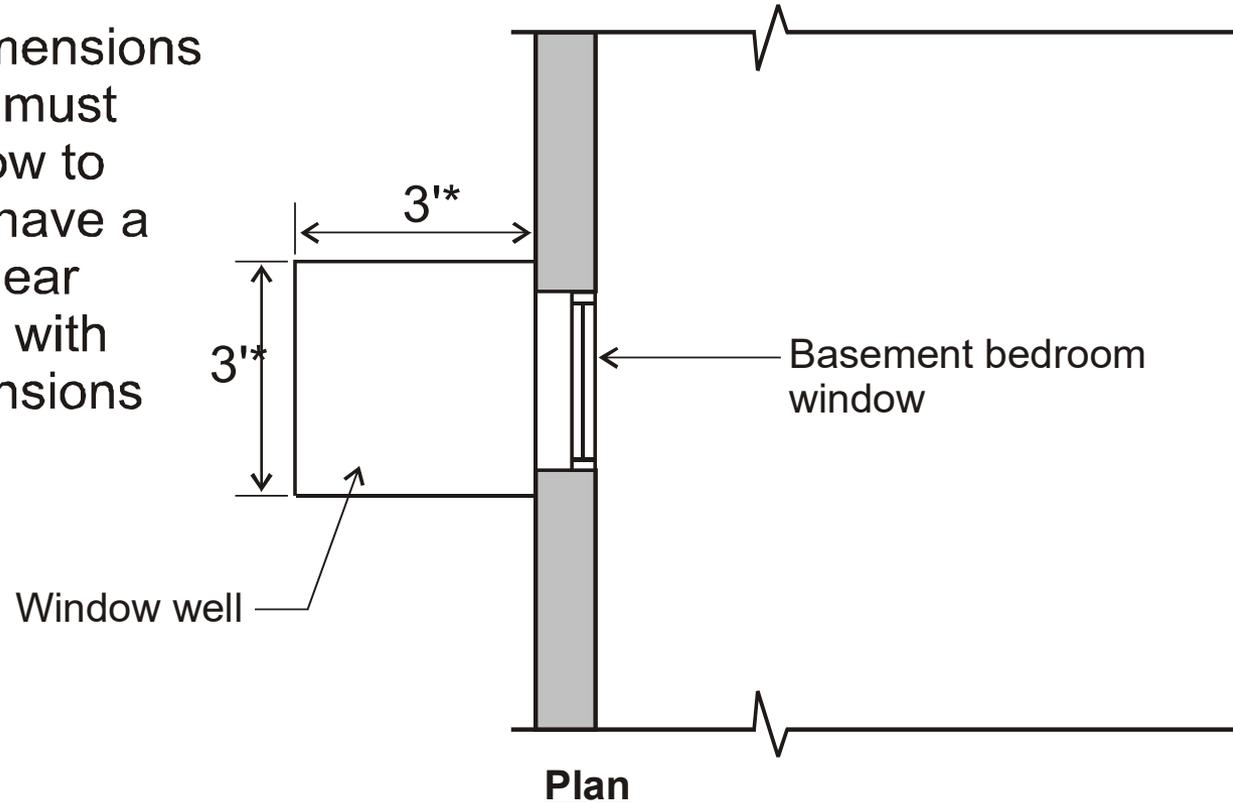
**Double
Hung
Window**



R310.2

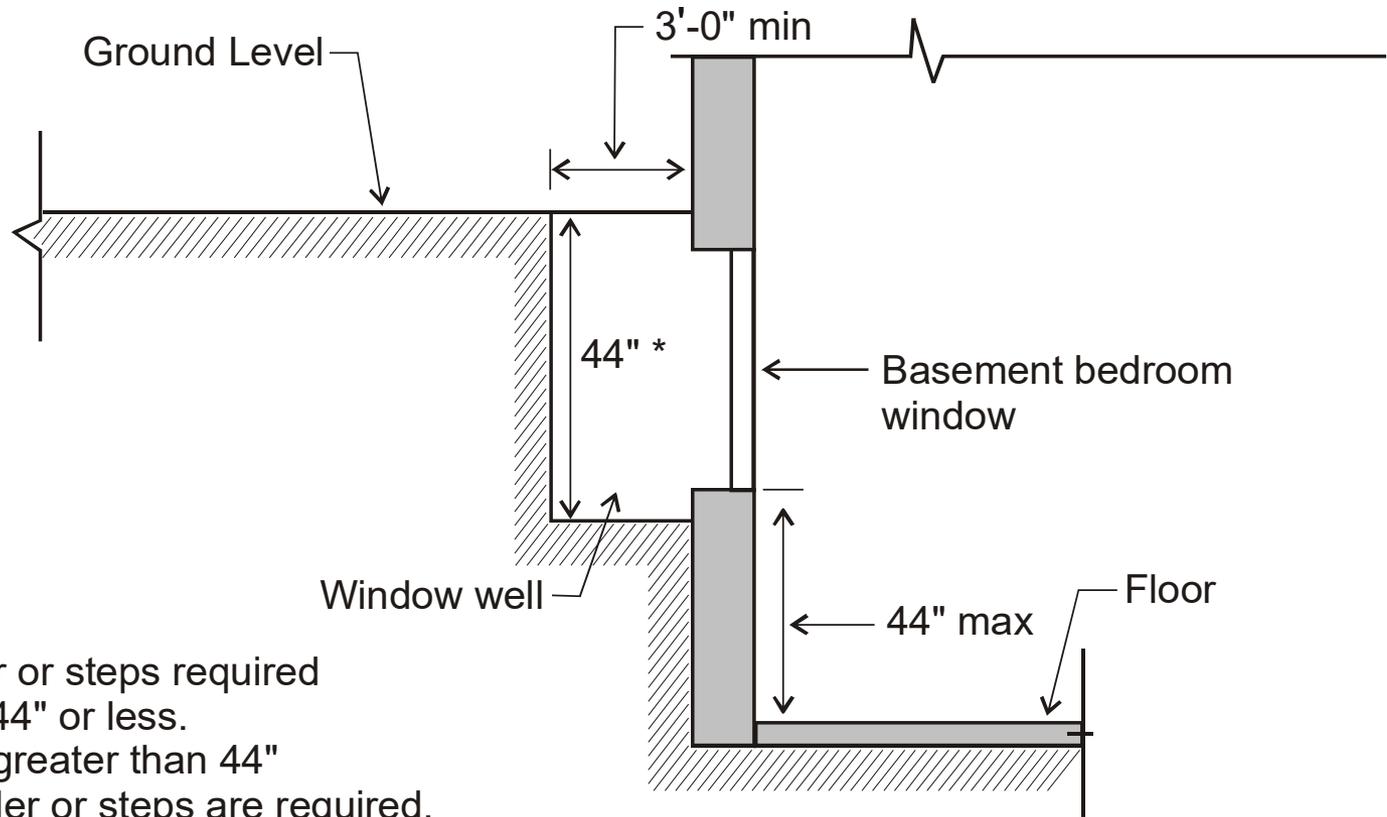
Window Wells

* Horizontal dimensions of window well must allow the window to open fully and have a minimum net clear area of 9 sq. ft. with minimum dimensions of 3'-0"



R310.2

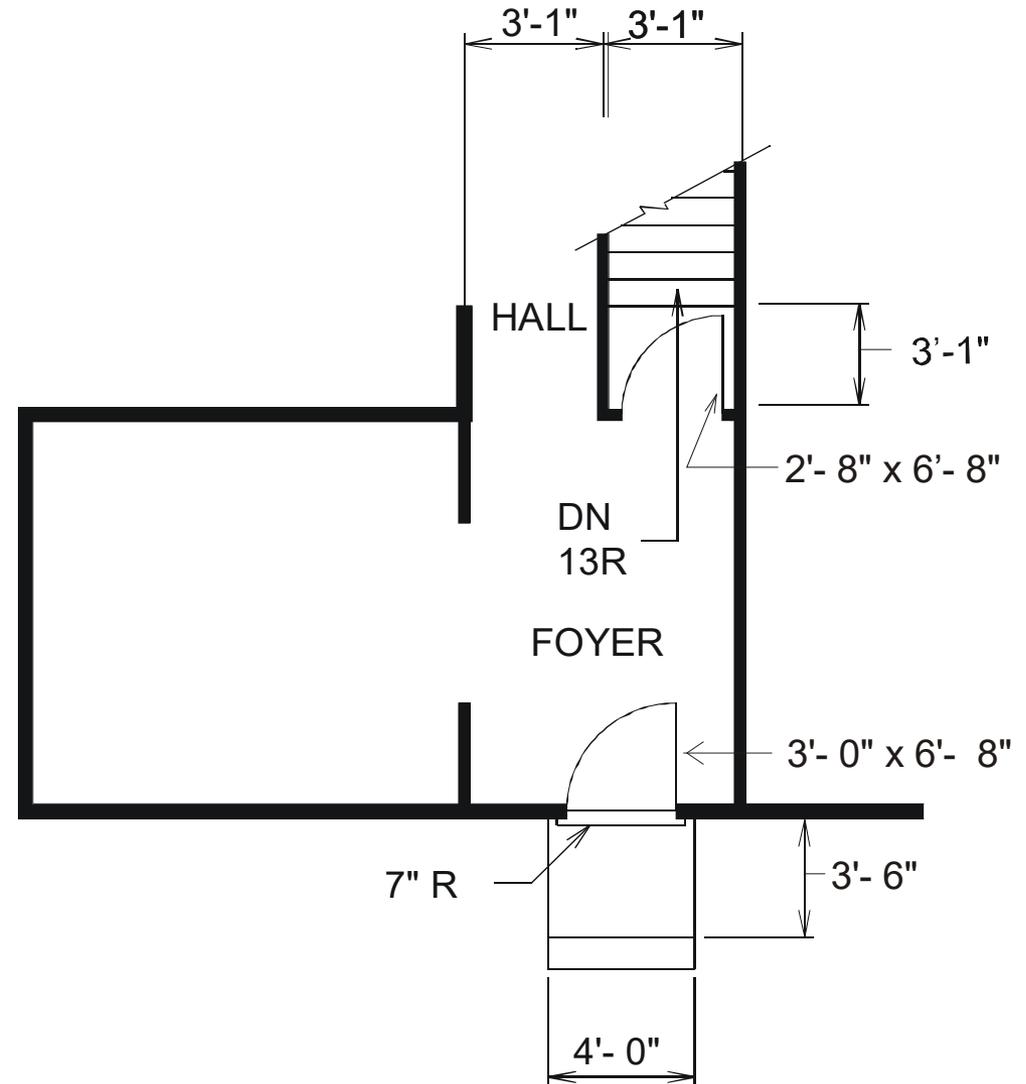
Window Wells



* No ladder or steps required if depth is 44" or less. If depth is greater than 44" then a ladder or steps are required.

Cross Section

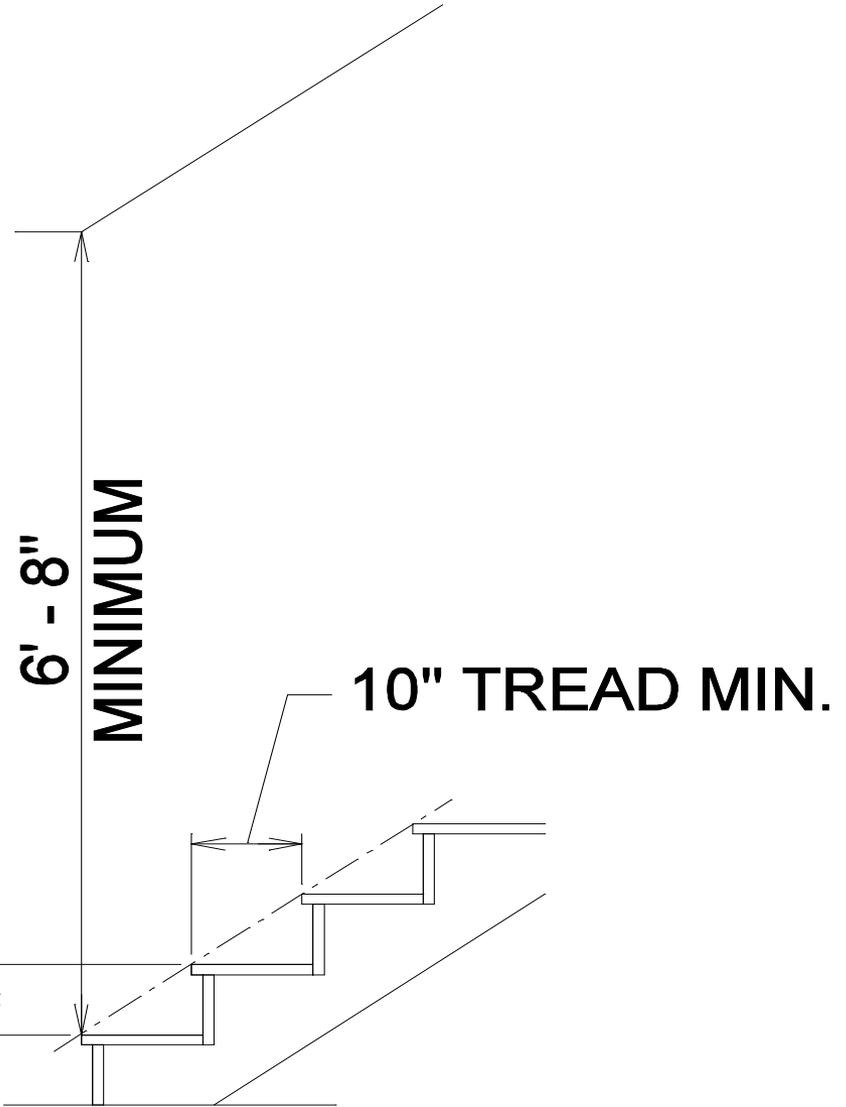
Check for landings



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

R311.7 Stairways

7 3/4" RISER MAX.

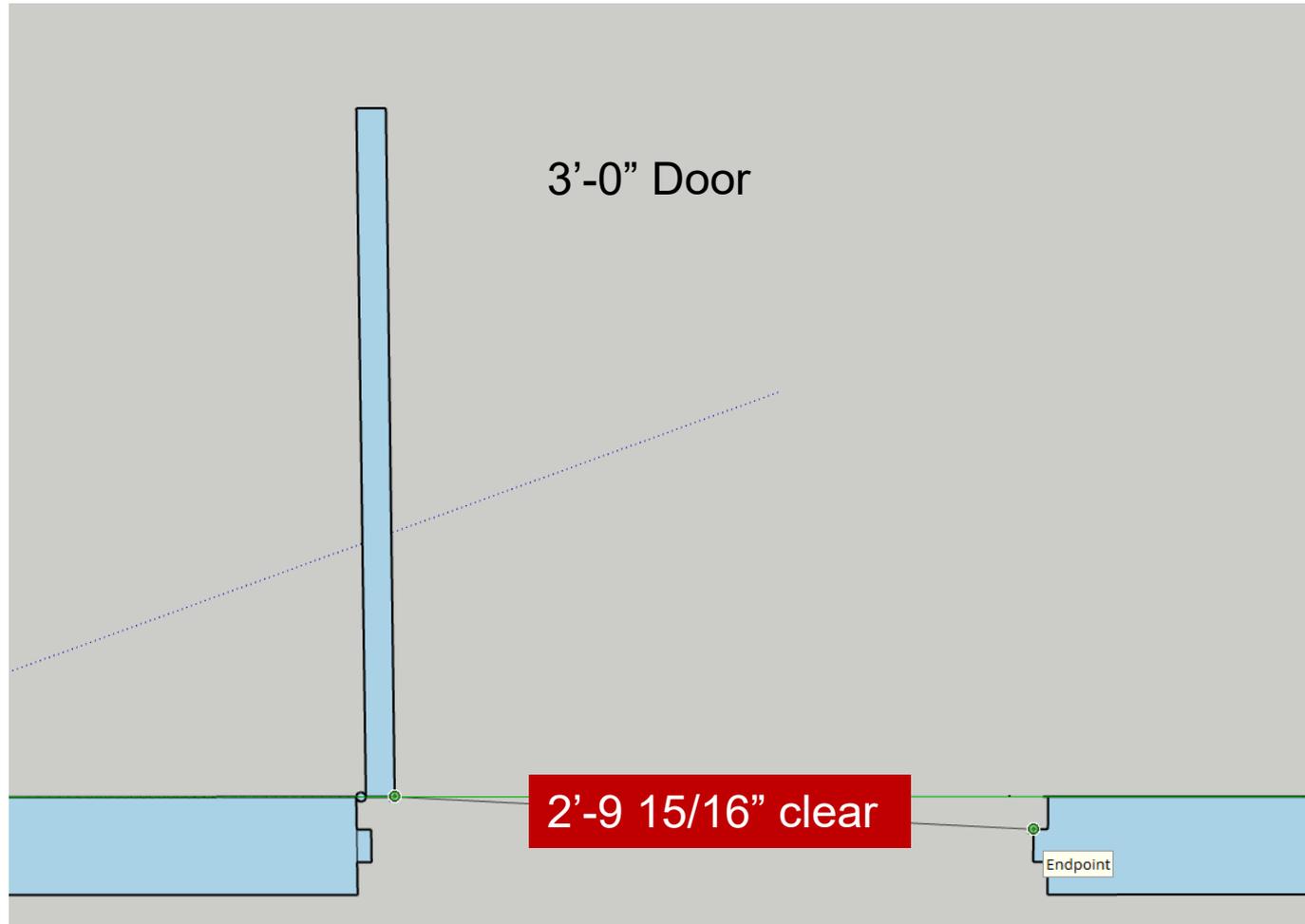


Partial Stair Plan



R311.2

Door Width

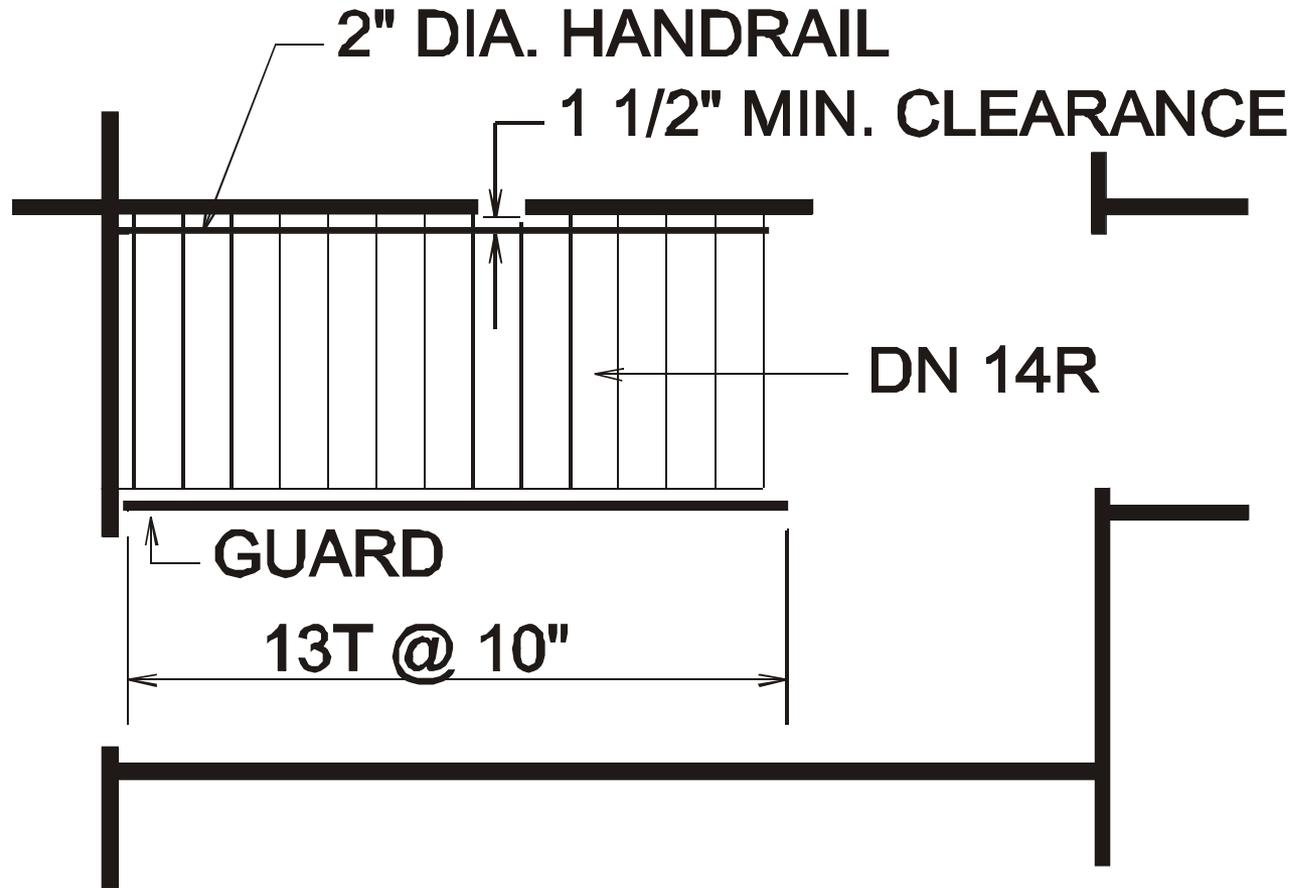


R311.2

Door Width



R311.7.8 Handrails



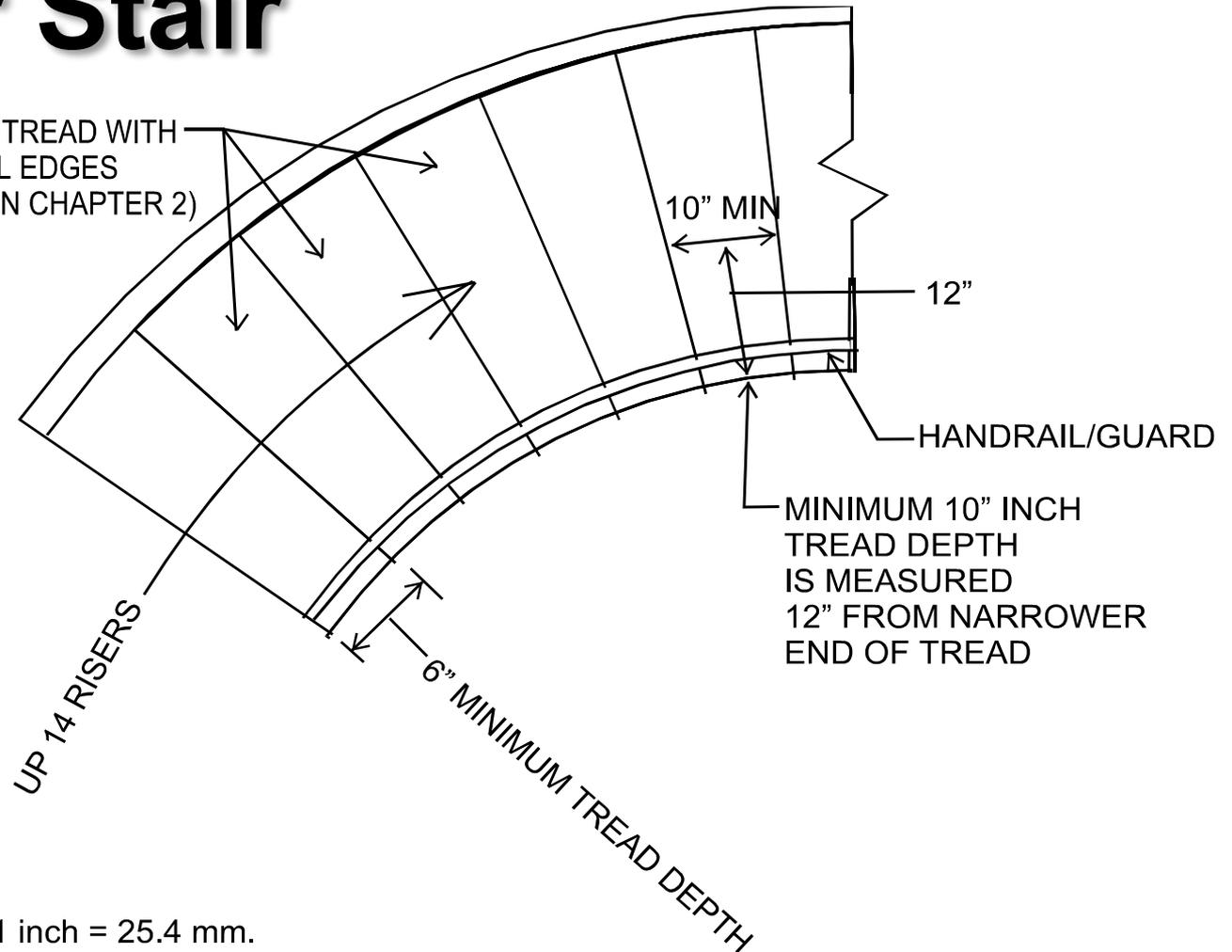
R311.7.8 Handrails





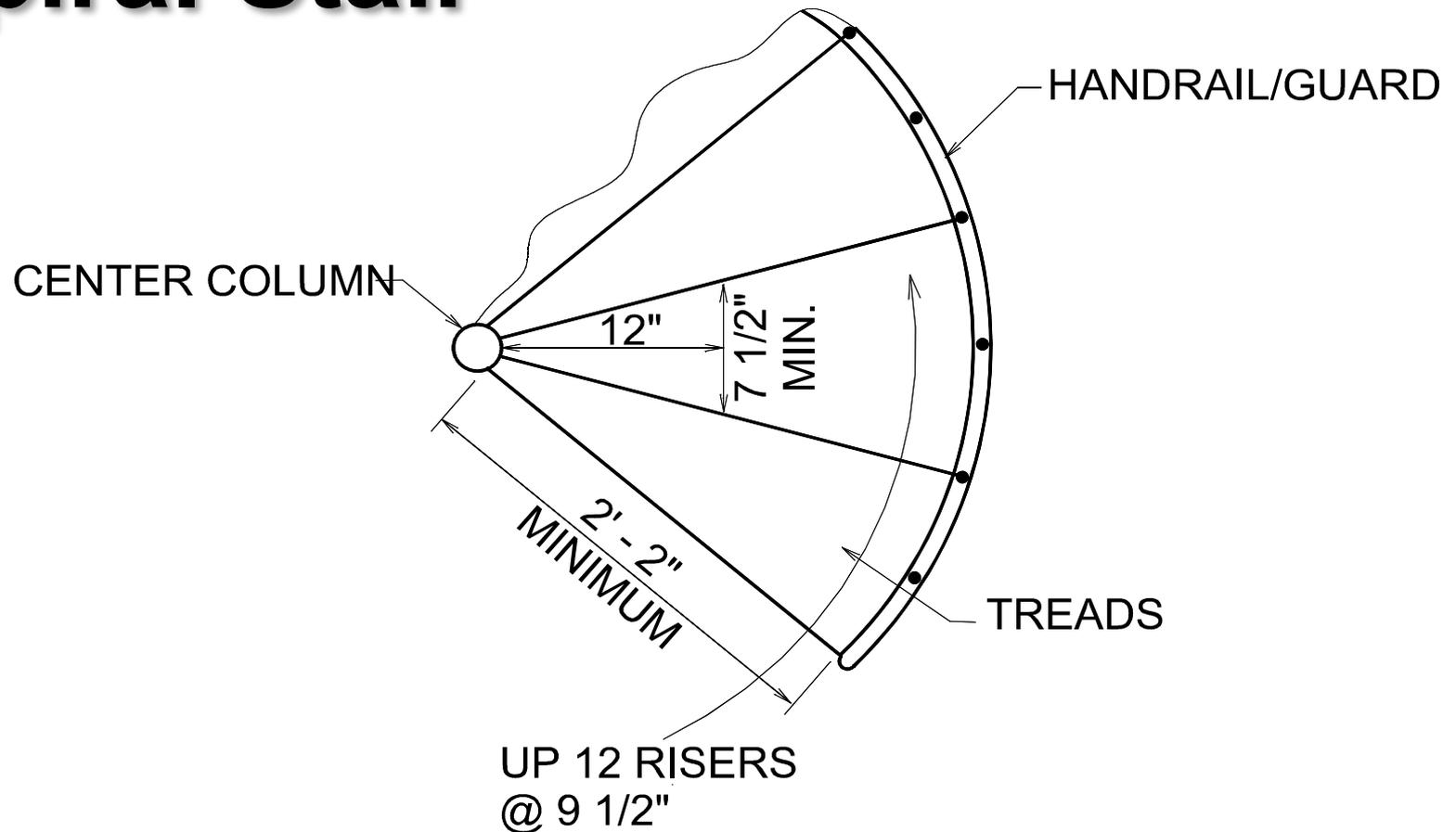
Circular Stair

WINDER: ANY TREAD WITH
NONPARALLEL EDGES
(AS DEFINED IN CHAPTER 2)



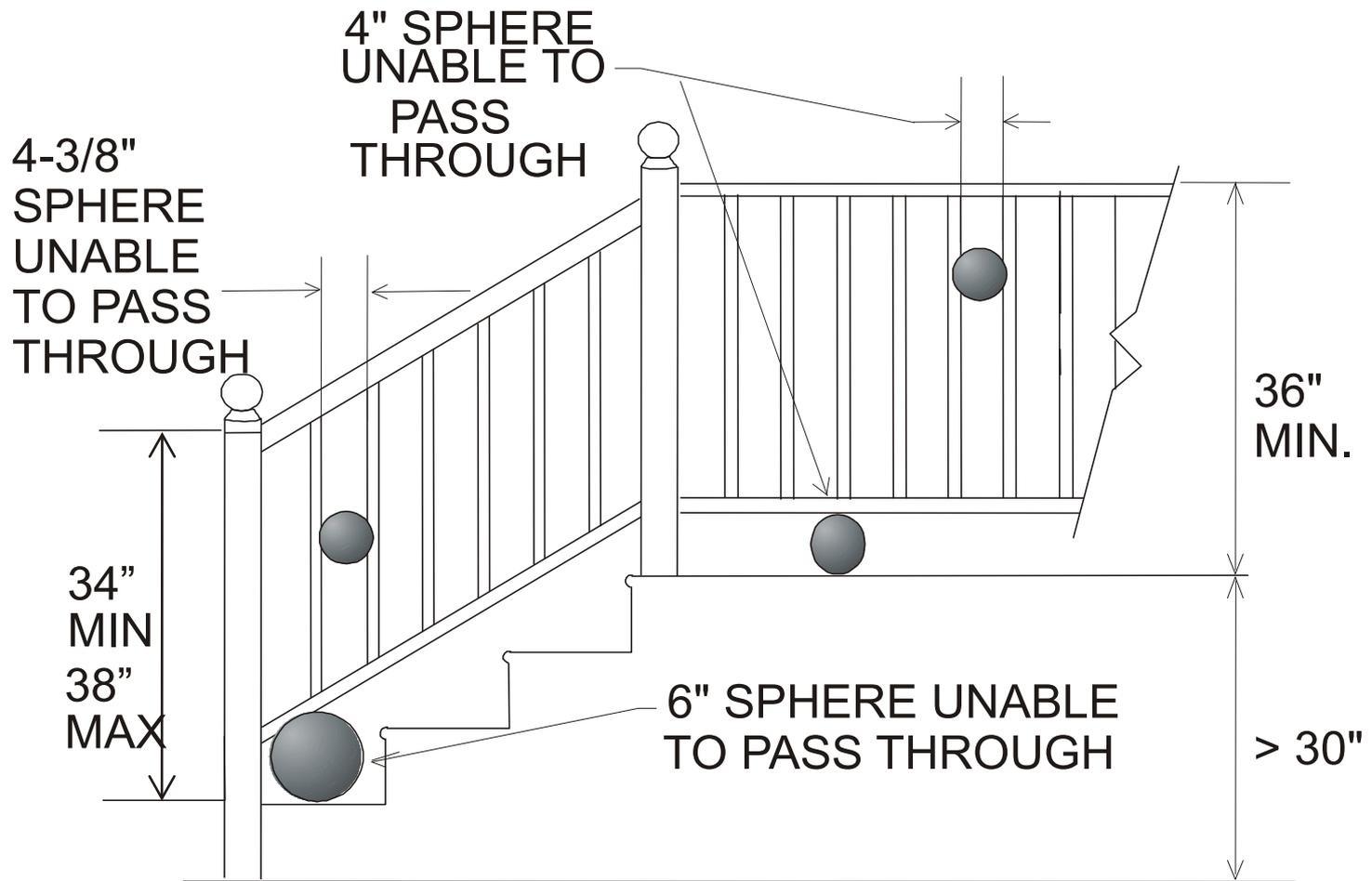
For SI: 1 inch = 25.4 mm.

Spiral Stair



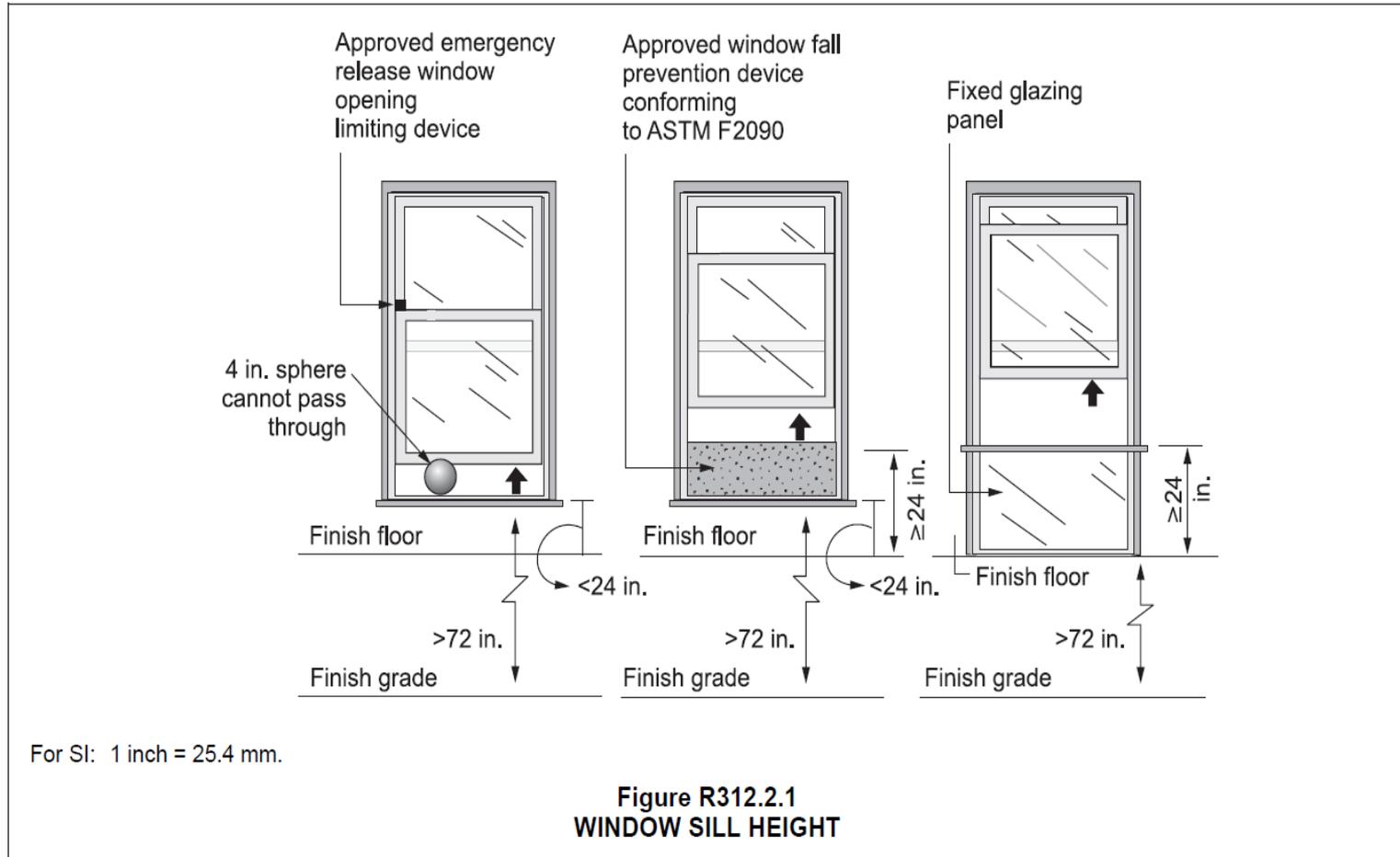
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

R311.7.8, R312.1.3 Handrails and Guards



R312.2

Window Fall Protection



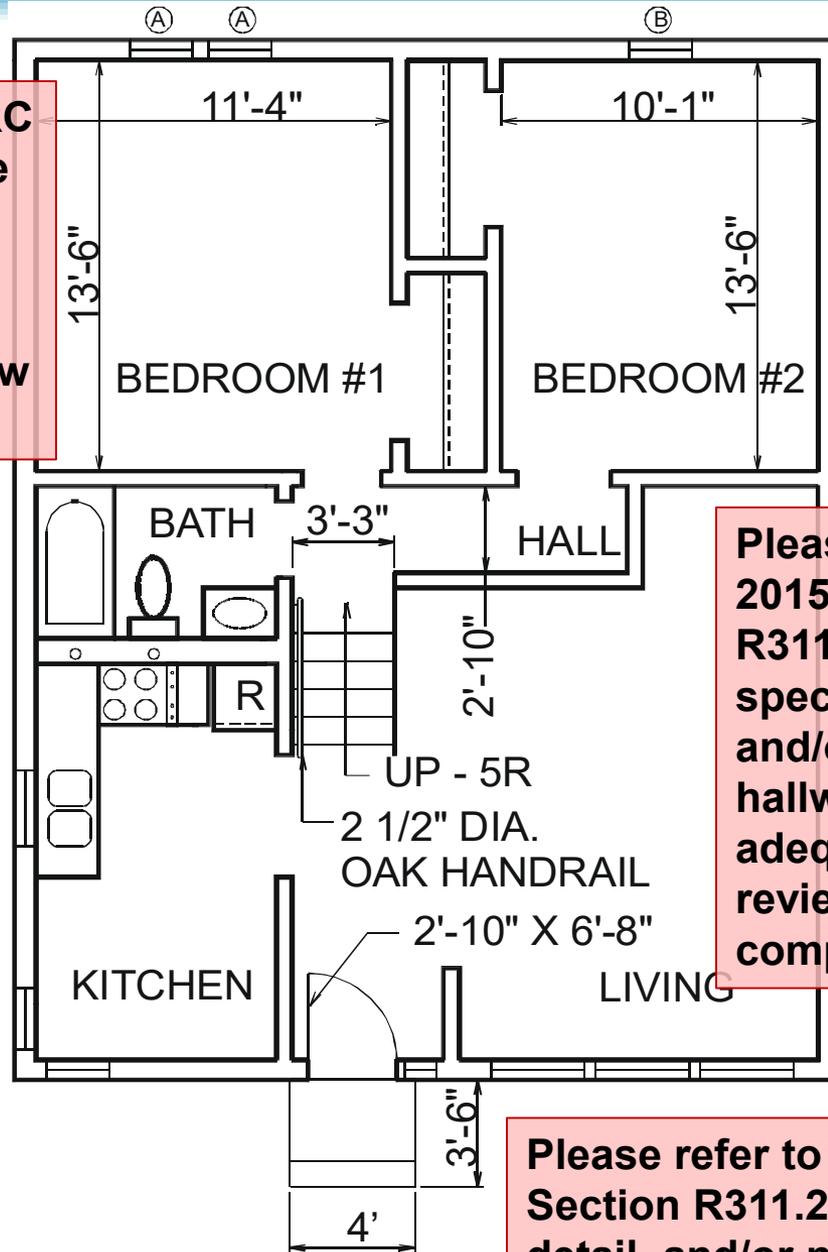
FOR EXAMPLE



Egress Review Example

Please refer to 2015 IRC Section R310.1. Please specify, detail, and/or note Bedroom No. 1 window clear opening area adequate to review for compliance.

Please refer to 2015 IRC Section R311.7.4. Please specify, detail, and/or note tread and riser dimensions adequate to review for compliance.



Please refer to 2015 IRC Section R311.6. Please specify, detail, and/or note hallway width adequate to review for compliance.

Please refer to 2015 IRC Section R311.2 Please specify, detail, and/or note clear width of exit door adequate for review.



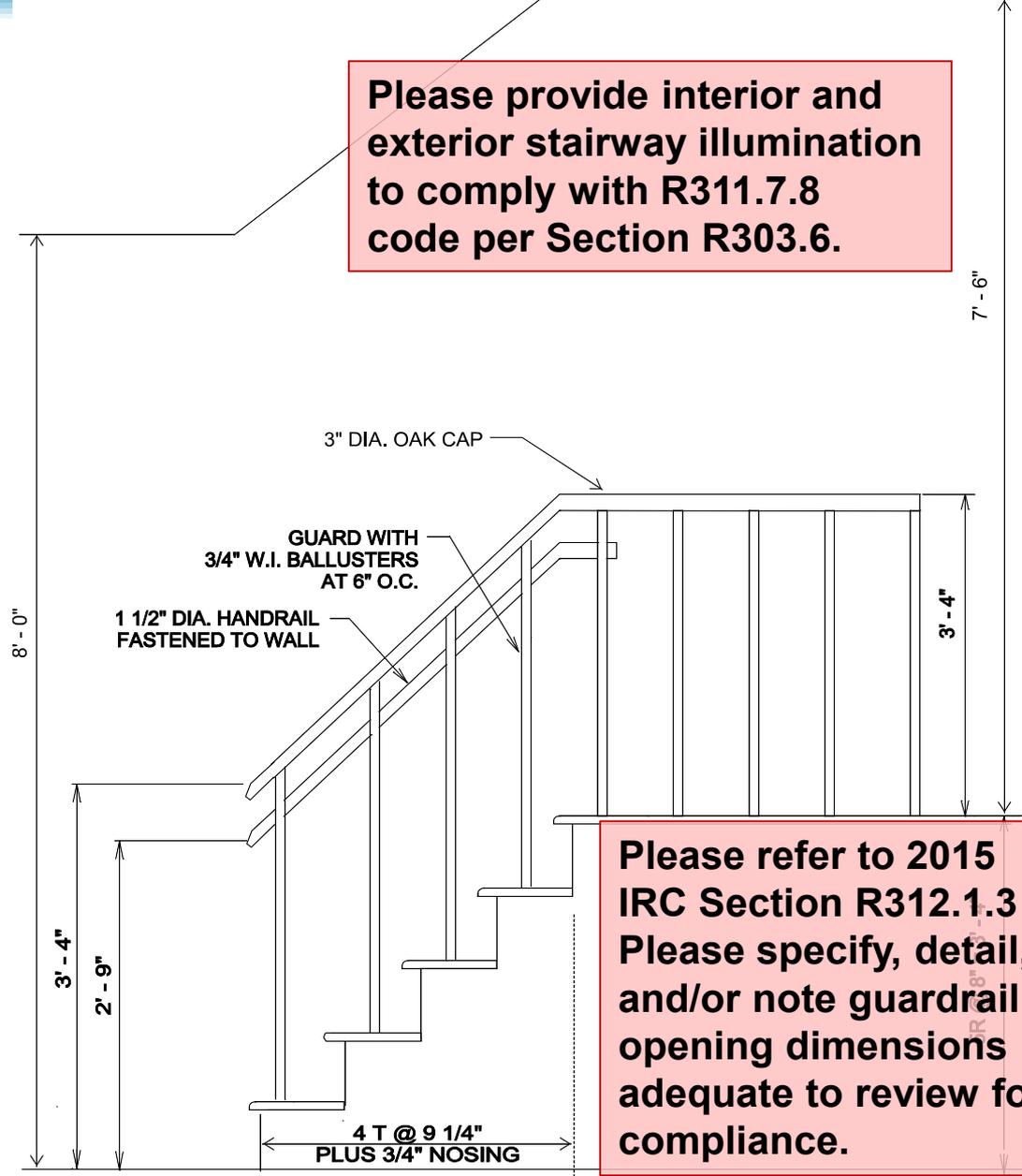
FOR EXAMPLE



Egress Review Example

Please refer to 2015 IRC Section R311.7.8.1. Please specify, detail, and/or note handrail height adequate to review for compliance.

Please provide interior and exterior stairway illumination to comply with R311.7.8 code per Section R303.6.



Please refer to 2015 IRC Section R312.1.3 Please specify, detail, and/or note guardrail opening dimensions adequate to review for compliance.





Building Planning Plan Review Activity

BUILDING PLANNING (cont'd.)

GARAGES AND CARPORTS (R309)

_____ Floor surface noncombustible; sloped floor (R309.1)

_____ Carport: open two sides; noncombustible floors; sloped floor (R309.2)

_____ Automatic garage door opener (R309.4)

_____ Fire sprinklers (R309.5)

EMERGENCY ESCAPE AND RESCUE OPENINGS (R310)

_____ Where required (R310.1)

_____ Areas, height, width, operations (R310)

_____ Window wells (R310.2.3)

_____ Under decks and porches (R310.2.4)

_____ _____ (R310.2.5)

MEANS OF EGRESS (R311)

_____ General (R311.1)

_____ Egress door (R311.2)

_____ Landings at exterior doors (R311.3 - R311.3.3)

_____ Vertical egress (R311.4)

_____ Construction and attachment (R311.5)

_____ Hallways (R311.6)

_____ Stairway width, headroom, vertical rise, walk-line (R311.7.1 - R311.7.4)

_____ Stairway treads, risers profiles (R311.7.5 - R311.7.5.4)

_____ Stairway landings and walking surfaces (R311.7.6, R311.7.7)

_____ Handrails required (R311.7.8)

_____ Handrail height, continuity, grip-size (R311.7.8.1 - R311.7.8.4)

_____ Stairway illumination (R303.7, R311.7.9)

_____ Special stairways (R311.7.10)

_____ Ramp slope, landings, handrails (R311.8)

_____ _____ (R311.8.1)

_____ Required for open-sided surfaces, stairs, ramps and landings > 30" above floor grade (R312.1.1)

_____ Height - 30" (R312.1.2)

_____ Opening limitations (R312.1.3)

_____ Window fall protection (R312.2)

AUTOMATIC FIRE SPRINKLER SYSTEMS (R313)

_____ Townhouses (R313.1)

_____ One- and two-family dwellings (R313.2)

SMOKE ALARMS (R314)

_____ Referenced standards (R314.1)

_____ Location and interconnection (R314.3, R314.4)

_____ Power source (R314.6)

CARBON MONOXIDE ALARMS (R315)

_____ New construction (R315.1, R315.2)

_____ Existing construction (R315.2.2)

_____ Referenced standard (R315.6)

FOAM PLASTIC (R302.8, R316)

_____ Labeling (R316.2)

_____ Surface burning, thermal barrier, specific approval (R316.3 - R316.8)

DECAY AND TERMITES PROTECTION (R317 and R318)

_____ Protection required (Table R301.2(1), R317.1, R318.1)

_____ Quality mark (R317.2 and R318.1.1)

SITE ADDRESS (R319)

_____ Address numbers (R319.1)

ACCESSIBILITY (R320)

_____ Type B dwelling units applicable (R320.1)

ELEVATORS/PLATFORM LIFTS (R321)

_____ Referenced standards (R321.1 - R321.3)

FLOOD-RESISTANT CONSTRUCTION (R322)

_____ General (R322.1)

_____ Hazard area and requirements (R301.2.4, R309.3, R322.2, R322.3)

_____ Design professional (R322.3.6)

STORM SHELTERS (R323)

_____ General/referenced standard (R323.1)

SOLAR ENERGY SYSTEMS (R324)

_____ System, installation, access (R324.2 - R324.7)

MEZZANINES (R325)

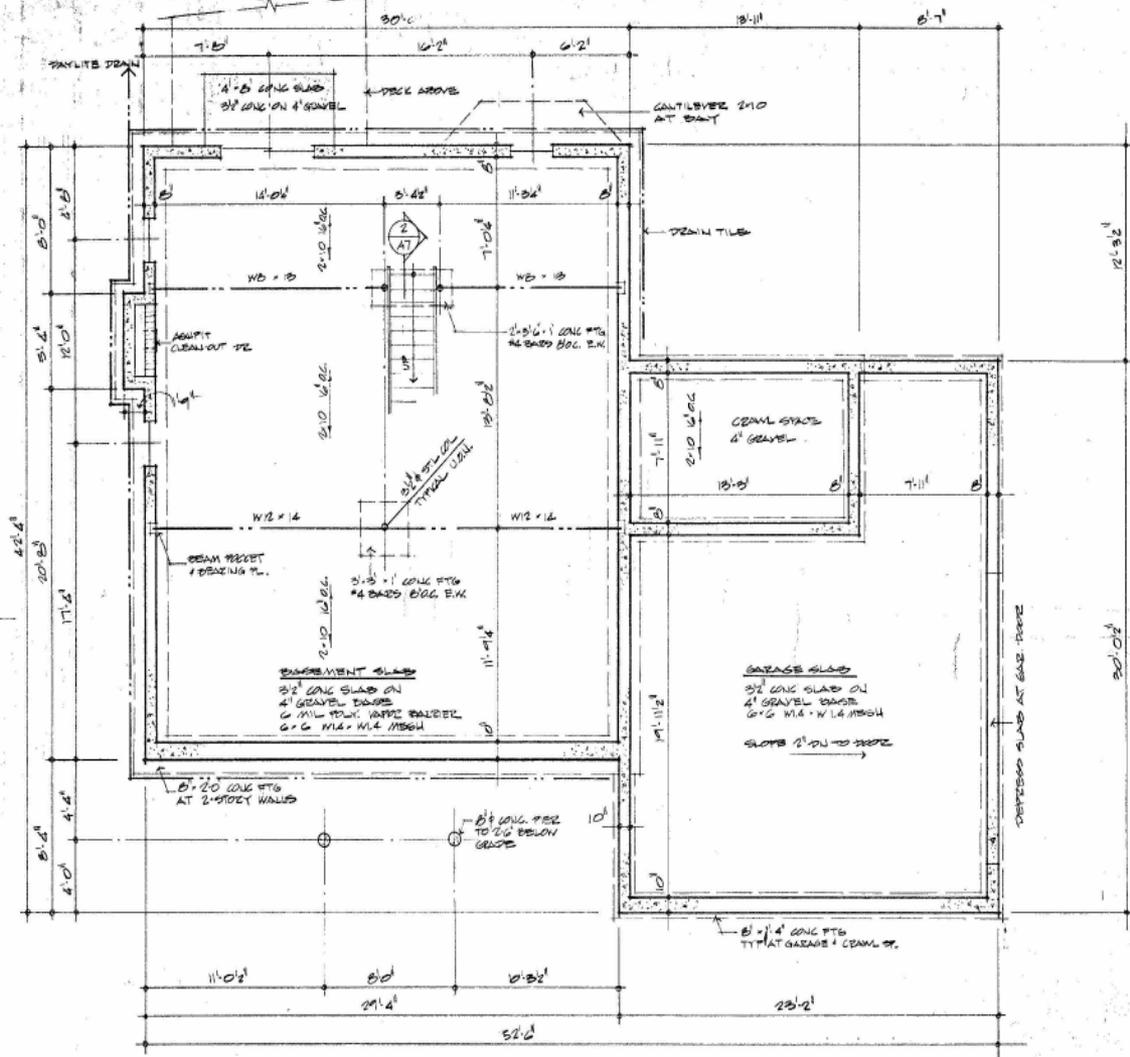
_____ Area, egress, openness (R325.2 - R325.5)

SWIMMING POOLS, SPAS AND HOT TUBS (R326)

_____ ISPPC (R326.1)

-4-

- Use the plan review record, page 4, to fill out the Building Planning portion for Means of Egress using the set of plans.



BASEMENT PLAN

4' - 11.0"

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MR. + MRS. EARL SMITH III
500 EASTMAN BLVD EVANSTON, ILL

MATT WILLIAMS INC.
ARCHITECTS
5708 E. TERRY ST.
EVANSTON, ILL

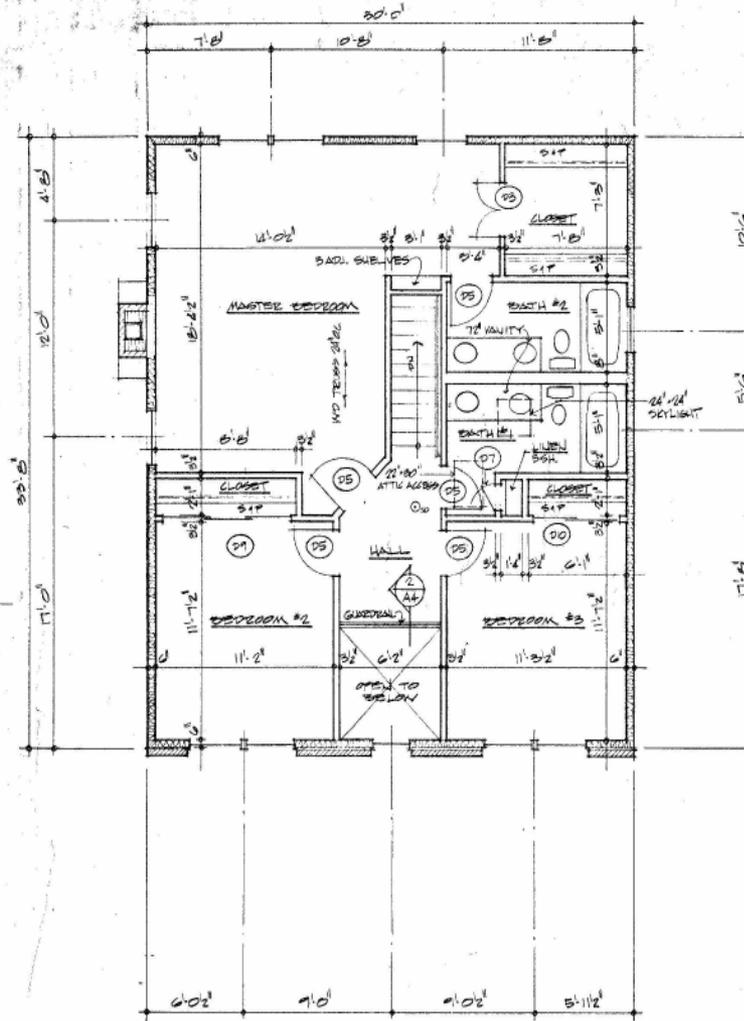


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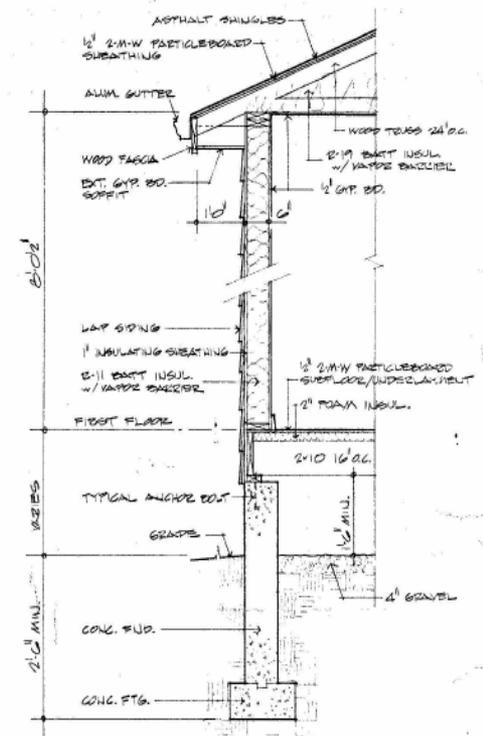




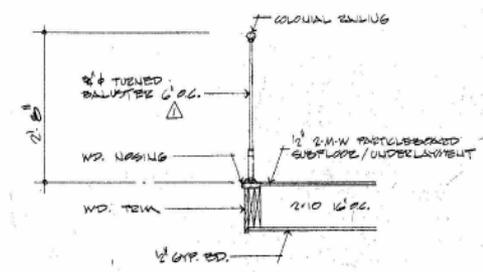
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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KRATI WILLIAMS INC. ARCHITECTS
500 E. PARK DR. EVANSTON, ILL

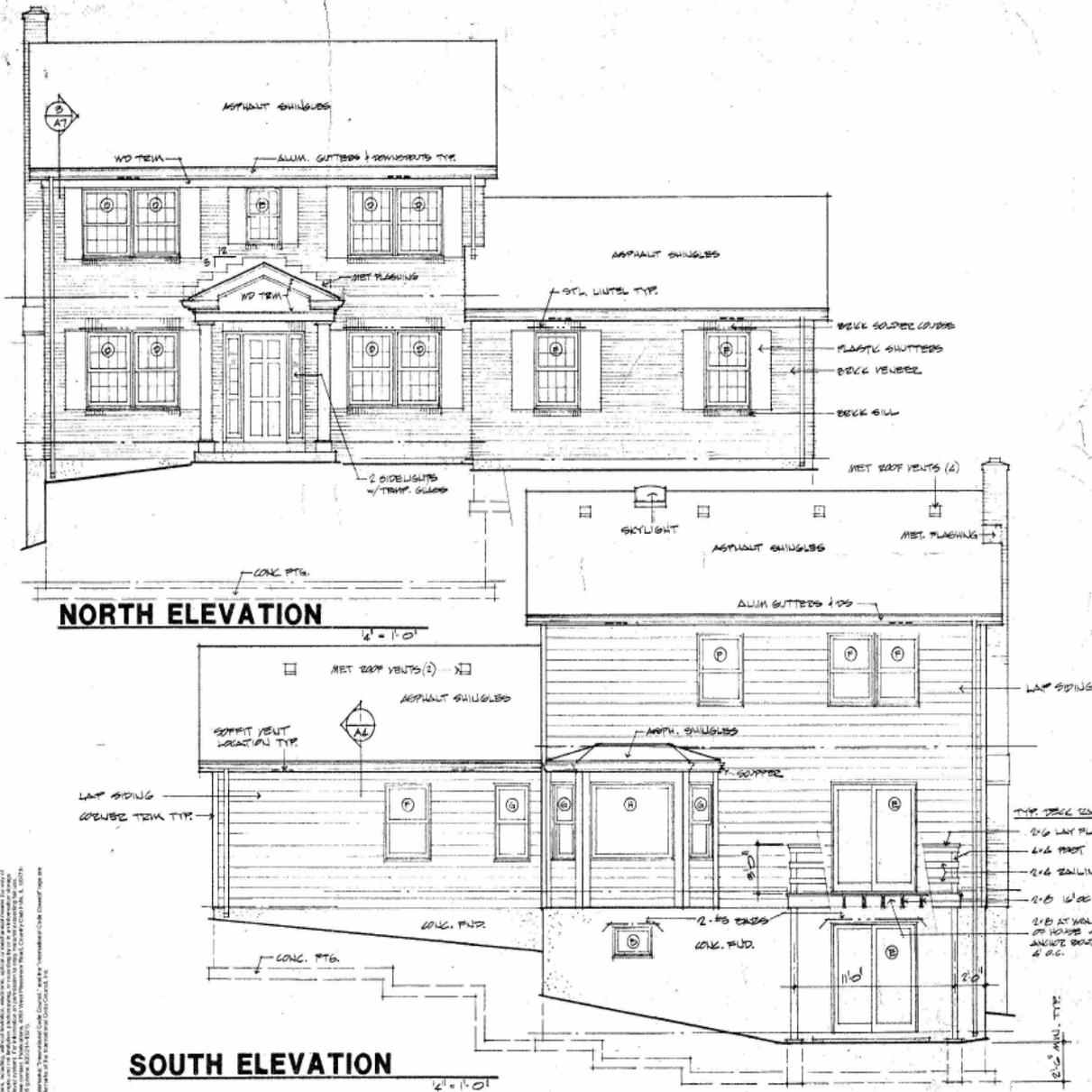


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EVANSHUR, USA

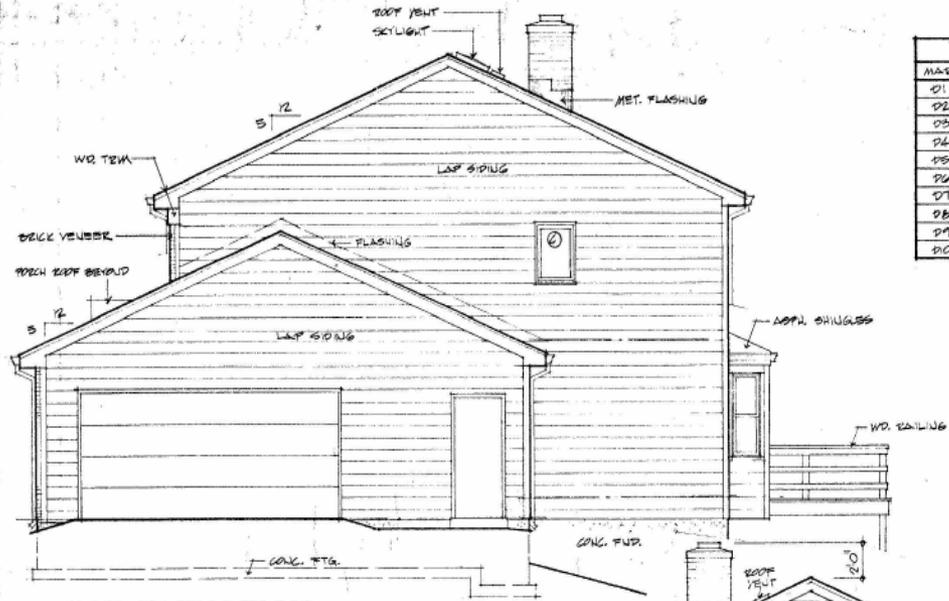
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WEST ELEVATION

1/4" = 1'-0"

WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION REQ'D	ACTUAL
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2	11.0
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2	11.0
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0	24.5
B	36" x 24"						
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6	8.0
H	24" x 24"	BREAKFAST	62.0	14.15	10.7	14.15	5.5
F	24" x 24"	1/2 BATH	22.5	3.0	5.0		4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.5	25.55
F	36" x 24"	BEDROOM					
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2	11.0
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	4.5 CFM	30 CFM
C	24" x 24"	BATH #2	52.5	2.0	5.5	1.5	2.5
B	36" x 24"	BEDROOM #1	300.0	22.0	34.9	22.0	27.0
D	36" x 24"	BEDROOM #2	121.0	10.2	22.0	5.2	11.0



EAST ELEVATION

1/4" = 1'-0"

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MARK	SIZE	TYPE
D1	30" x 6'6"	MET ENTRY
D2	30" x 6'6"	PANELED WOOD
D3	30" x 6'6"	PANELED WOOD
D4	40" x 6'6"	PANELED WOOD
D5	20" x 6'6"	PANELED WOOD
D6	30" x 6'6"	1 1/2" SOLID WOOD W.P.
D7	10" x 6'6"	PANELED WOOD
D8	7'0" x 6'0"	PANELED MET. GARAGE
D9	30" x 6'6"	WOOD EXTERIOR FLASH
D0	30" x 6'6"	WOOD EXTERIOR FLASH

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500 EASTVILLE BLVD. EVANSTON, ILL. USA

MATT WILLIAMS, INC. ARCHITECTS
300 E. PARK DR. EVANSTON, ILL. USA

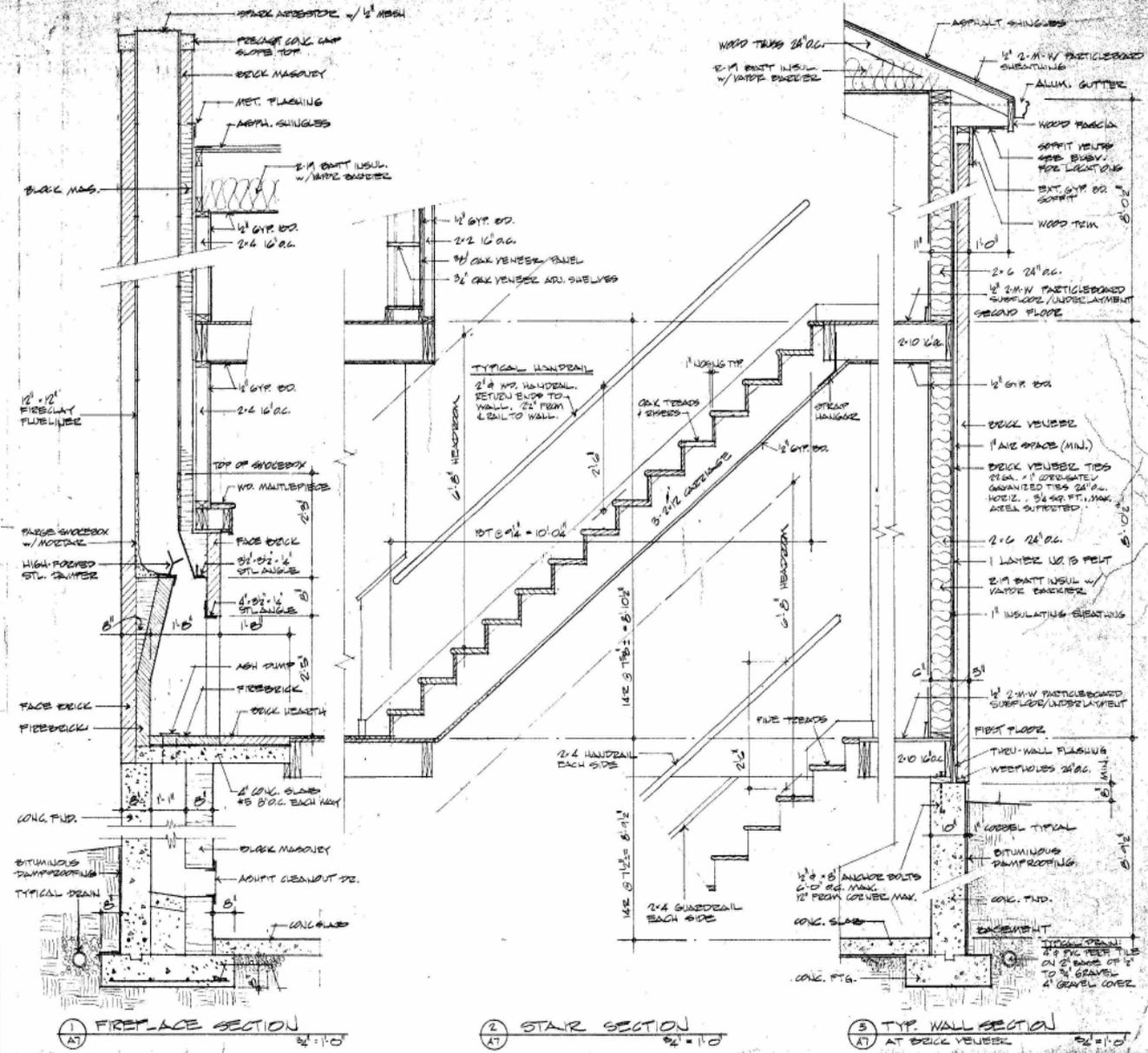


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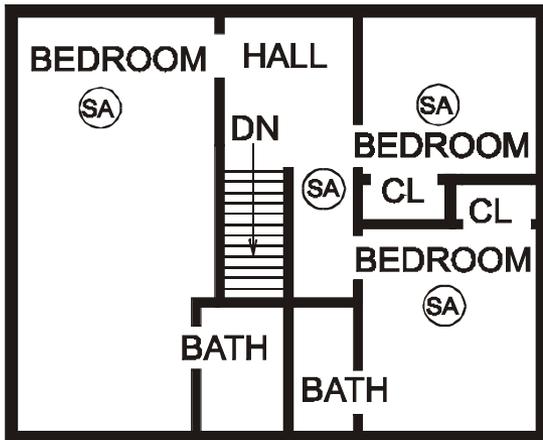
SHEET
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Step 7: Smoke Alarm and Carbon Monoxide Alarm Review Steps

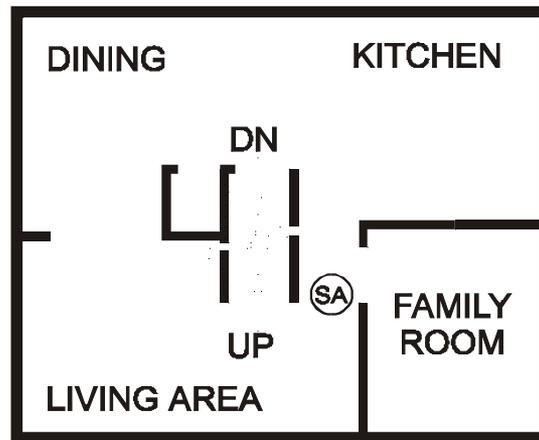
1. Check for smoke alarm in each sleeping room.
2. Check for smoke and carbon monoxide alarms outside of and in vicinity of sleeping rooms.
3. Check for smoke alarms on each floor.
4. Check for smoke alarm near bathroom doors.
5. Check for smoke alarms in split level drawings.
6. Check for smoke alarms near cooking appliances
7. Check for interconnection and installation.
8. Check power source.
9. Check for smoke alarms throughout dwelling, if addition or alteration.



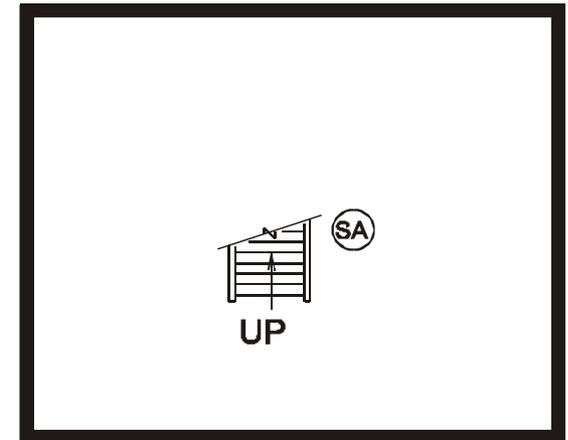
Smoke Alarm and Carbon Monoxide Alarm Review



2ND FLOOR PLAN



1ST FLOOR PLAN

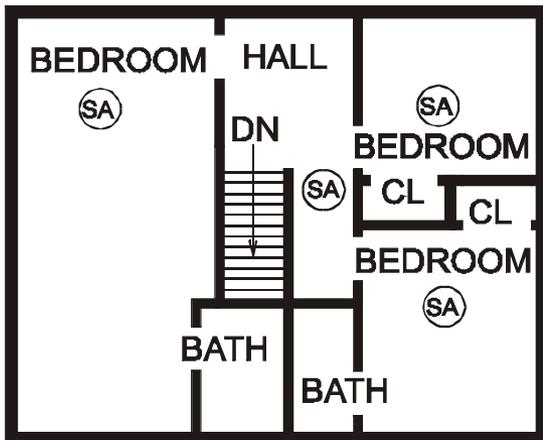


BASEMENT PLAN

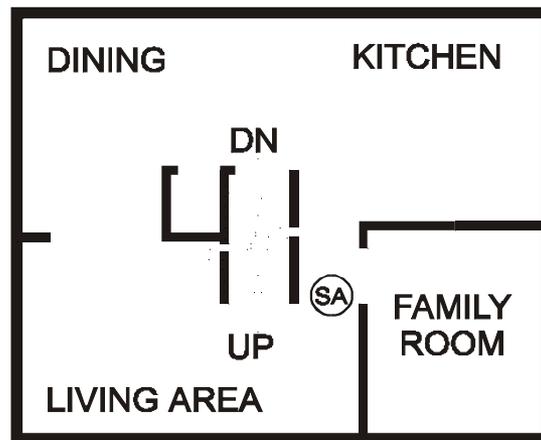
Ⓢ SMOKE ALARM

Placement of Smoke Alarms Within Dwelling

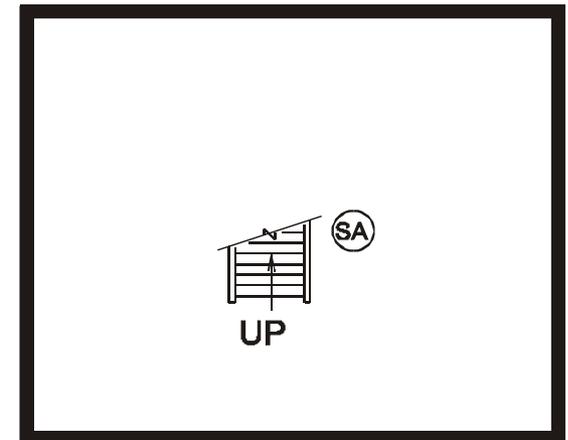
Smoke Alarm and Carbon Monoxide Alarm Review



2ND FLOOR PLAN



1ST FLOOR PLAN

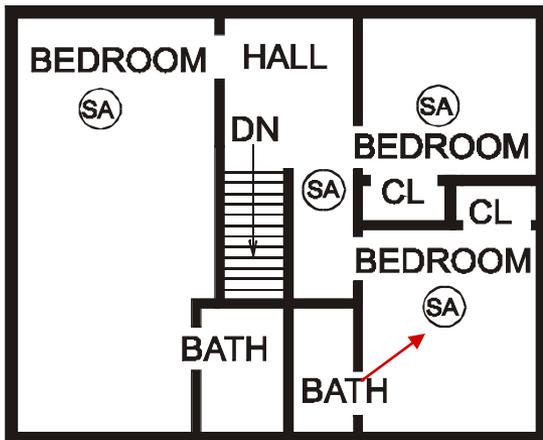


BASEMENT PLAN

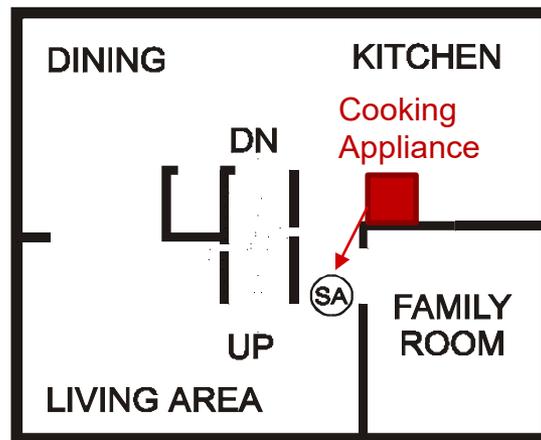
ⓈA SMOKE ALARM

Placement of Smoke Alarms Within Dwelling

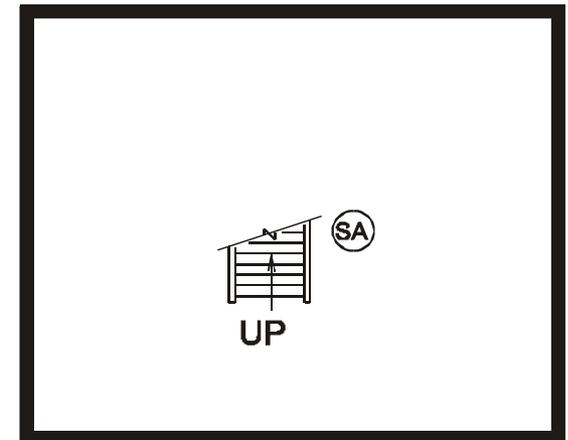
Smoke Alarm and Carbon Monoxide Alarm Review



2ND FLOOR PLAN



1ST FLOOR PLAN



BASEMENT PLAN

ⓈA SMOKE ALARM

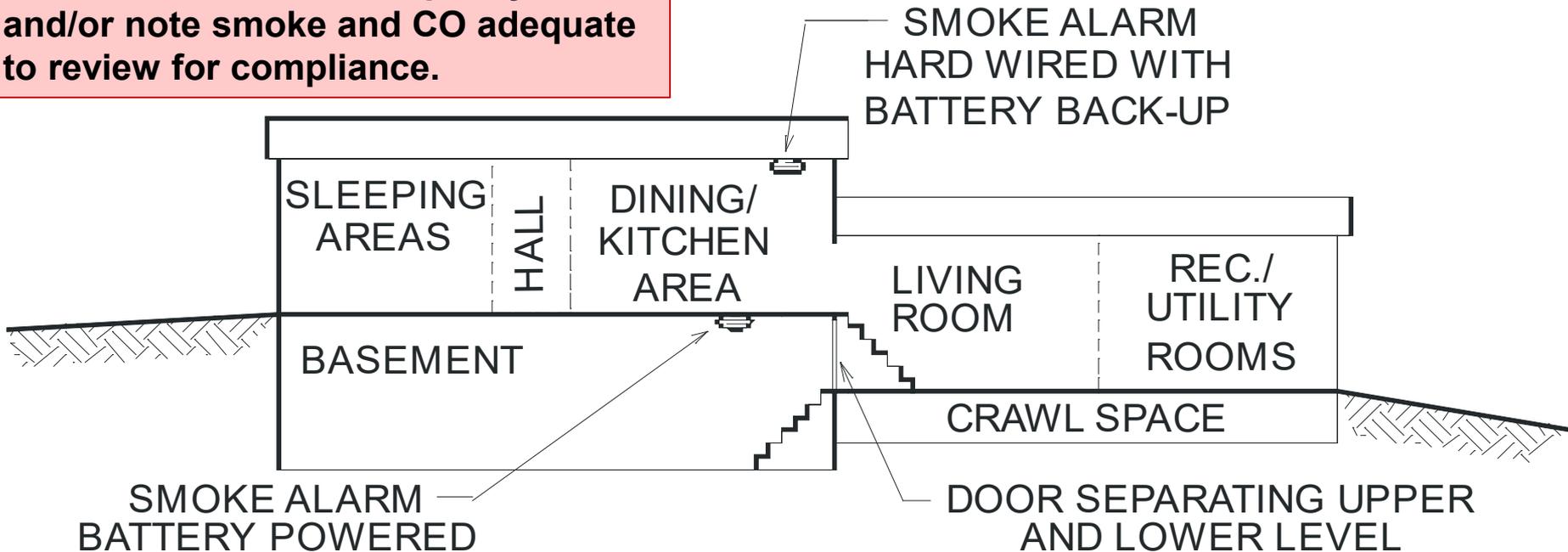
Placement of Smoke Alarms Within Dwelling

FOR EXAMPLE



Smoke Alarm and Carbon Monoxide Alarm Review Example

Please refer to 2015 IRC Sections R314.3, R315.1. Please specify, detail, and/or note smoke and CO adequate to review for compliance.



Please refer to 2015 IRC Section R314.4. Please specify, detail, and/or note interconnection adequate to review for compliance.

Please refer to 2015 IRC Sections R314.6 & R315.5. Please specify, detail, and/or note detector power source(s) adequate to review for compliance.





Building Planning Plan Review Activity

BUILDING PLANNING (cont'd)

GARAGES AND CARPORTS (R309)

_____ Floor surface noncombustible; sloped floor (R309.1)

_____ Carport: open two sides; noncombustible floors; sloped floor (R309.2)

_____ Automatic garage door opener (R309.4)

_____ Fire sprinklers (R309.5)

EMERGENCY ESCAPE AND RESCUE OPENINGS (R310)

_____ Where required (R310.1)

_____ Areas, height, width, operations (R310.1.1 - R310.1.4)

_____ Window wells (R310.2)

_____ Bars, grilles, covers and screens (R310.4)

_____ Under decks and porches (R310.5)

MEANS OF EGRESS (R311)

_____ General (R311.1)

_____ Egress door (R311.2)

_____ Landings at exterior doors (R311.3 - R311.3.3)

_____ Vertical egress (R311.4)

_____ Construction and attachment (R311.5)

_____ Hallways (R311.6)

_____ Stairway width, headroom, vertical rise, walkline (R311.7.1 - R311.7.4)

_____ Stairway treads, risers profiles (R311.7.5 - R311.7.5.4)

_____ Stairway landings and walking surfaces (R311.7.6, R311.7.7)

_____ Handrails required (R311.7.8)

_____ Handrail height, continuity, grip-size (R311.7.8.1 - R311.7.8.4)

_____ Stairway illumination (R303.6, R311.7.9)

_____ Special stairways (R311.7.10)

_____ Ramp slope, landings, handrails (R311.8)

GUARDS AND WINDOW PROTECTION (R312)

_____ Required for open-sided surfaces, stairs, ramps and landings > 30" above floor grade (R312.1.1)

_____ Height - 36" (R312.1.2)

_____ Opening limitations (R312.1.3)

_____ Window fall protection (R312.2)

AUTOMATIC FIRE SPRINKLER SYSTEMS (R313)

_____ Townhouses (R313.1)

_____ _____

SMOKE ALARMS (R314)

_____ Referenced standards (R314.1, R314.2)

_____ Location and interconnection (R314.3, R314.5)

_____ Power source (R314.4)

CARBON MONOXIDE ALARMS (R315)

_____ New construction (R315.1, R315.2)

_____ Existing construction (R315.3)

_____ Referenced standard (R315.4)

FOAM PLASTIC (R302.8, R316)

_____ Labeling (R316.2)

_____ Surface burning, thermal barrier, specific approval (R316.3 - R316.7)

DECAY AND TERMITES PROTECTION (R317 and R318)

_____ Protection required (Table R301.2(1), R317.1, R318.1)

_____ Quality mark (R317.2 and R318.1.1)

SITE ADDRESS (R319)

_____ Address numbers (R319.1)

ACCESSIBILITY (R320)

_____ Type B dwelling units applicable (R320.1)

ELEVATORS/PLATFORM LIFTS (R321)

_____ Referenced standards (R321.1 - R321.3)

FLOOD-RESISTANT CONSTRUCTION (R322)

_____ General (R322.1)

_____ Hazard area and requirements (R301.2.4, R309.3, R322.2, R322.3)

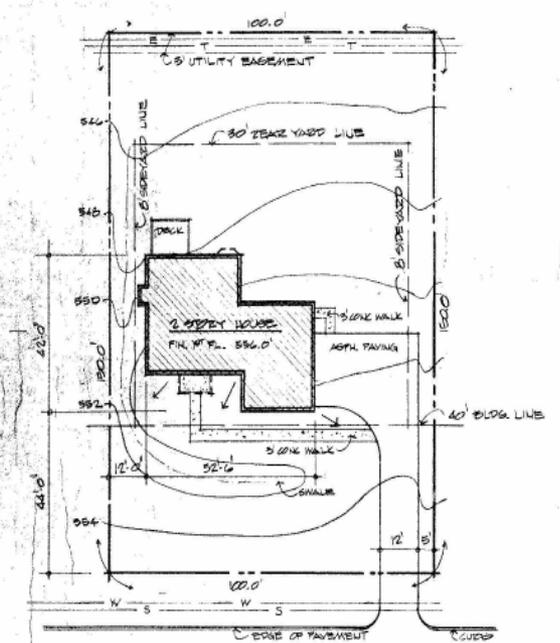
_____ Design professional (R322.3.6)

STORM SHELTERS (R323)

_____ General/referenced standard (R323.1)

-4-

- Use the plan review record, page 4, to fill out the Building Planning portion for Smoke Alarm and Carbon Monoxide Alarm using the set of plans.



PLOT PLAN
1" = 20.0'

REMARK: ELEVATION 857.0 TOP OF MANHOLE COVER AT INTERSECTION OF DAYTONA BLVD. & MATIUS GLEN RD.

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SPECIFICATION

GENERAL REQUIREMENTS:
Contract will be AIA A197. Lien waivers will be required at the completion of the project. Contractor to visit the site and verify existing conditions prior to bidding. General Contractor to supply for, pay for, and pick up all permits.

Insurance: Worker's Compensation-Statutory, Comprehensive General Liability, Comprehensive Automobile Liability, and Owner's Liability all by General Contractor. Certificates shall be filed with Owner before beginning work. Owner to provide Property Insurance based on completed value.

SITEWORK:
All sitework to be coordinated with Landscape Work. Asphalt paving shall be 3" on top of 6" gravel base.

Excavate and backfill: All debris to be removed from site promptly. Protect interior and exterior work at perimeter of addition with EPA approved termiteicide by bio-fide pest control company.

Landscape by Owner:

CONCRETE:
Air entrain exposed slabs. Concrete shall have a strength of 3000 psi at 28 days.

MASONRY:
All brick laid up 3 courses per ft. Brick veneer ties as indicated on drawings. Provide 3 oz. copper/lead through-wall flashing at bottom of walls and at all joints. Seal laps.

Roofs to be full height, open headjoints at 24 in. At the base of brick veneer, provide #15 felt board breaker under flashing 4 feet in both directions at all corners.

CARPENTRY:
Floor and wall framing shall be as follows: Floor Construction - No. 2 Proderum Pine, Wall Construction - Stud grade or No. 2 2 x 4's. Interior loadbearing studs Δ at 16" oc. Plates on corners shall be pressure-treated.

Trim Design Loads: 20 psf snow load, 10 psf wind load, dead load on top chord 10 psf, dead load bottom chord 5 psf. Manufacturer shall submit cross drawings and calculations for permit.

All Deck walk surfaces, posts, and railings shall be clear grade redwood. Concealed framing below deck shall be pine.

THERMAL AND MOISTURE PROTECTION:
Apply 1 coat bituminous dampproof per manufacturer's recommendations.

Unless otherwise indicated, best insulation to be foil faced fiberglass, R-value as indicated.

Lap siding shall be 8" exposure vinyl siding. Include all corner, window and door trim necessary for a complete installation.

Insulating sheathing shall be closed-cell extruded polystyrene foam board with shiplap edges in thickness indicated. Insulate per manufacturer's recommendations.

Foam insulation in crawl space shall be closed-cell extruded polystyrene foam in thickness indicated, applied with adhesive per manufacturer's recommendations.

Asphalt shingles to be 240 lb. self-sealing. Apply per manufacturer's recommendations.

All flashing, gutters and downspouts shall be prefinished aluminum.

Exterior ceiling shall be one part urethane applied per manufacturer's instructions. Interior ceiling shall be acrylic base.

Soffit vents to be stamped, pre-finished aluminum, 8" x 16" (48 sq. in. net free area). Vents at roof to be diameter with insect screens, 15" x 16" (50 sq. in. net free area).

Skylights to be fixed, self-flashing, solar grey, double-glazed, both lines fully tempered.

DOORS AND WINDOWS:
Windows and Sliding Patio Doors shall be vinyl clad, white finish, with Type II System glazing, hardware and sills. Provide grilles at units as indicated. Provide screens at all operable units. Overhead doors at Garage to be steel raised panel door, non-insulated, with all necessary hardware for a complete installation.

FINISHES:
Provide standard gypsum board for interior work, WR board at wet plumbing walls. Gypsum board shall receive 3 coat tape job. Commission header board behind tile and cultured marble.

Paint exterior wood 2 coats acrylic primer, 1 coat exterior latex sheen.

All gypsum board shall receive 1 coat PVA primer first coat of latex the paint, unless otherwise noted.

All door and window casings to be painted. All interior doors to be painted. Interior wood painted: enamel undercoat, two top coats eggshell finish/alkyd base. Prime gypsum board that is to be papered with one coat alkylid enamel undercoat. Subsequent coats shall receive 2 coats Moisture-urea-glass enamel.

1/26/2015/10

GENERAL NOTES

1. ALL HEADINGS TO BE 2-2x12 UNLESS OTHERWISE NOTED.
2. ALL STEEL LUTELS SUPPORTING BEAM MANUALLY TO BE 2x12 UNLESS OTHERWISE NOTED.

DESIGN CRITERIA

FIRST LEVEL	2'-0"
SEISMIC ZONE	2
FIRST FLOOR: LL	40 LBS/FT ²
SECOND FLOOR: LL	30 LBS/FT ²
ROOF: LL	10 LBS/FT ²
DL	10 LBS/FT ²

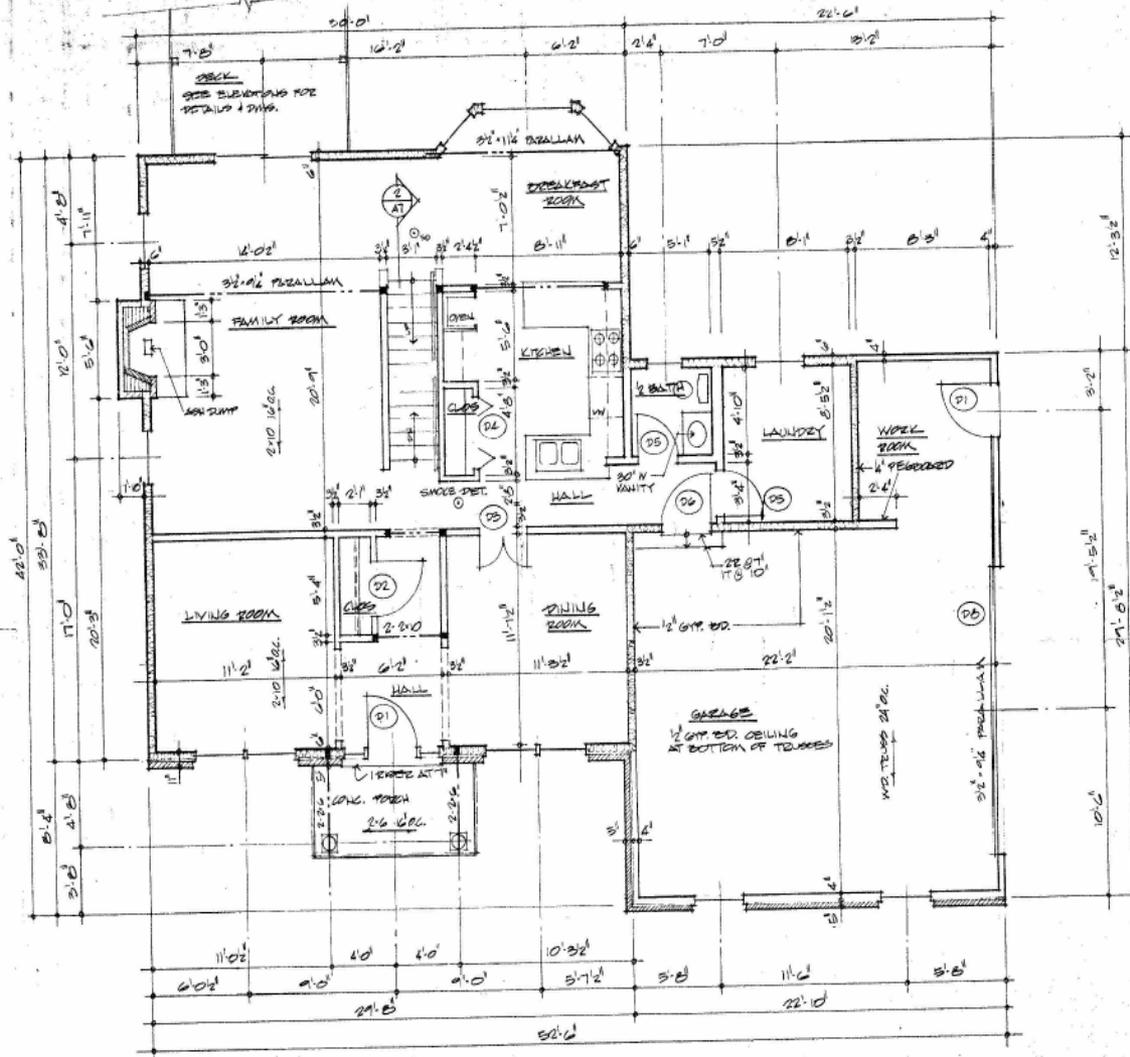
RESIDENCE FOR MR. & MRS. EARL SMITH III
500 EASTPARK BLVD. EVANSHURST, ILL. USA

KASST WILLIAMS, INC.
ARCHITECTS
500 E. PARK DR.
EVANSHURST, ILL. USA



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FIRST FLOOR PLAN

4'-1'-0"

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EVANSTON, ILL.

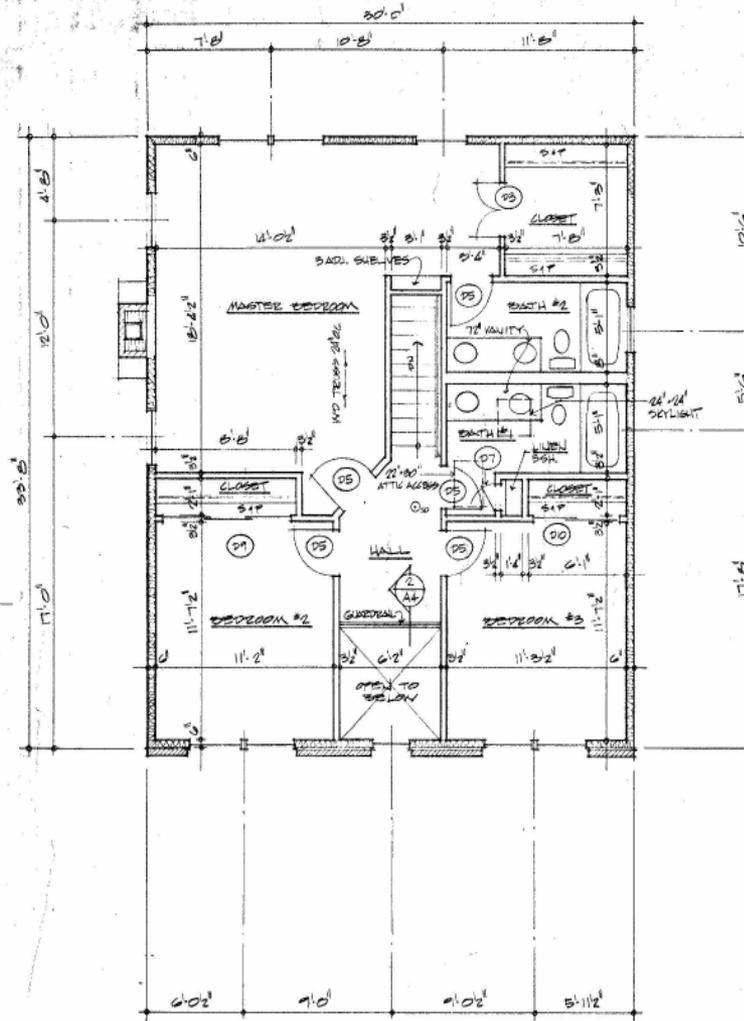


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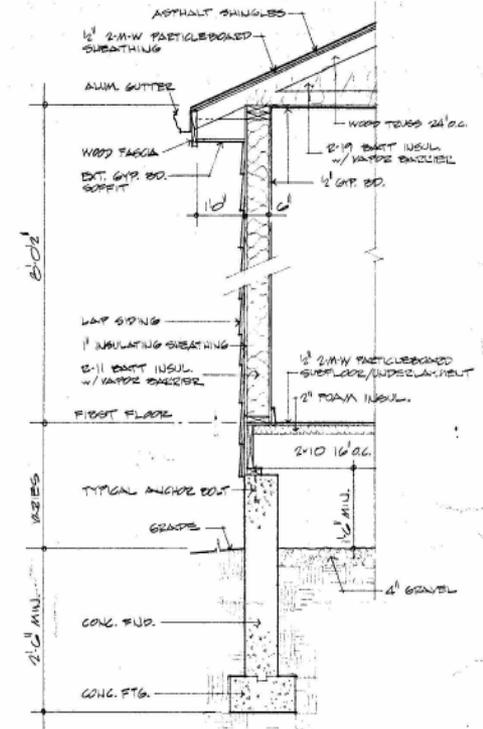




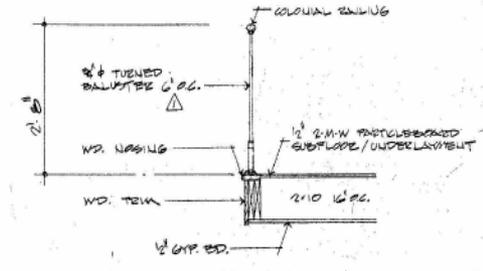
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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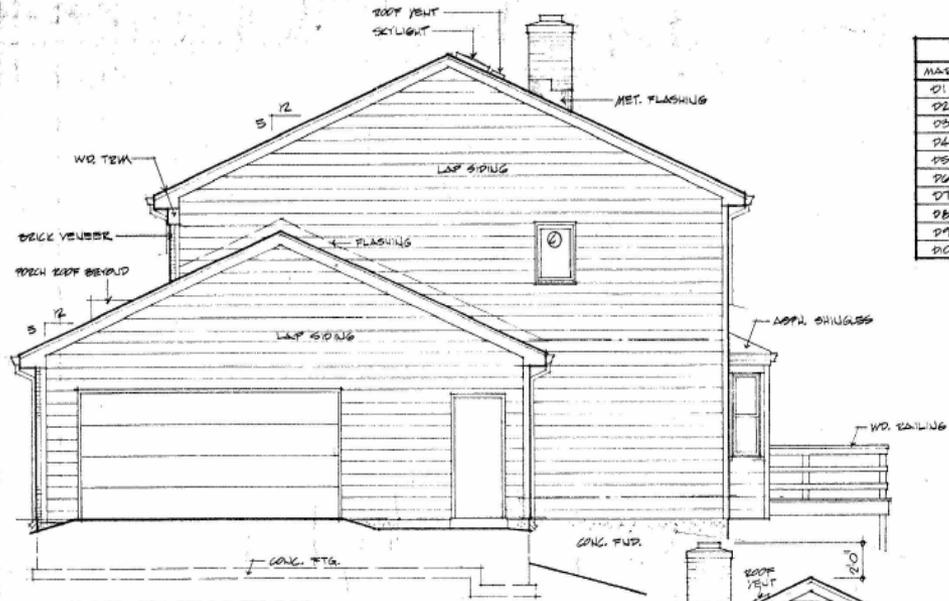


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST	62.0	14.5	10.7	5.3
F	24" x 24"	1/2 BATH	22.5	3.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.3
F	36" x 24"	BEDROOM				25.65
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	41.5 CFM
C	24" x 24"	BATH #2	52.5	2.0	5.5	2.6
B	36" x 18"	BATH VENT	300.0	40.0	34.9	22.0
D	36" x 24"	BEDROOM #1	121.0	10.2	22.0	5.2



EAST ELEVATION

1/4" = 1'-0"

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DOOR SCHEDULE		
MARK	SIZE	TYPE
D1	30" x 6'0"	MET. ENTRY
D2	30" x 6'0"	PANELED WOOD
D3	30" x 6'0"	PANELED WOOD
D4	40" x 6'0"	PANELED WOOD
D5	20" x 6'0"	PANELED WOOD
D6	30" x 6'0"	1 1/2" SOLID WOOD W.P.
D7	10" x 6'0"	PANELED WOOD
D8	7'0" x 6'0"	PANELED MET. GARAGE
D9	30" x 6'0"	WOOD EXTERIOR FLASH
D0	30" x 6'0"	WOOD EXTERIOR FLASH

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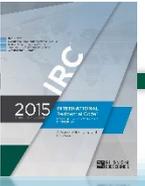
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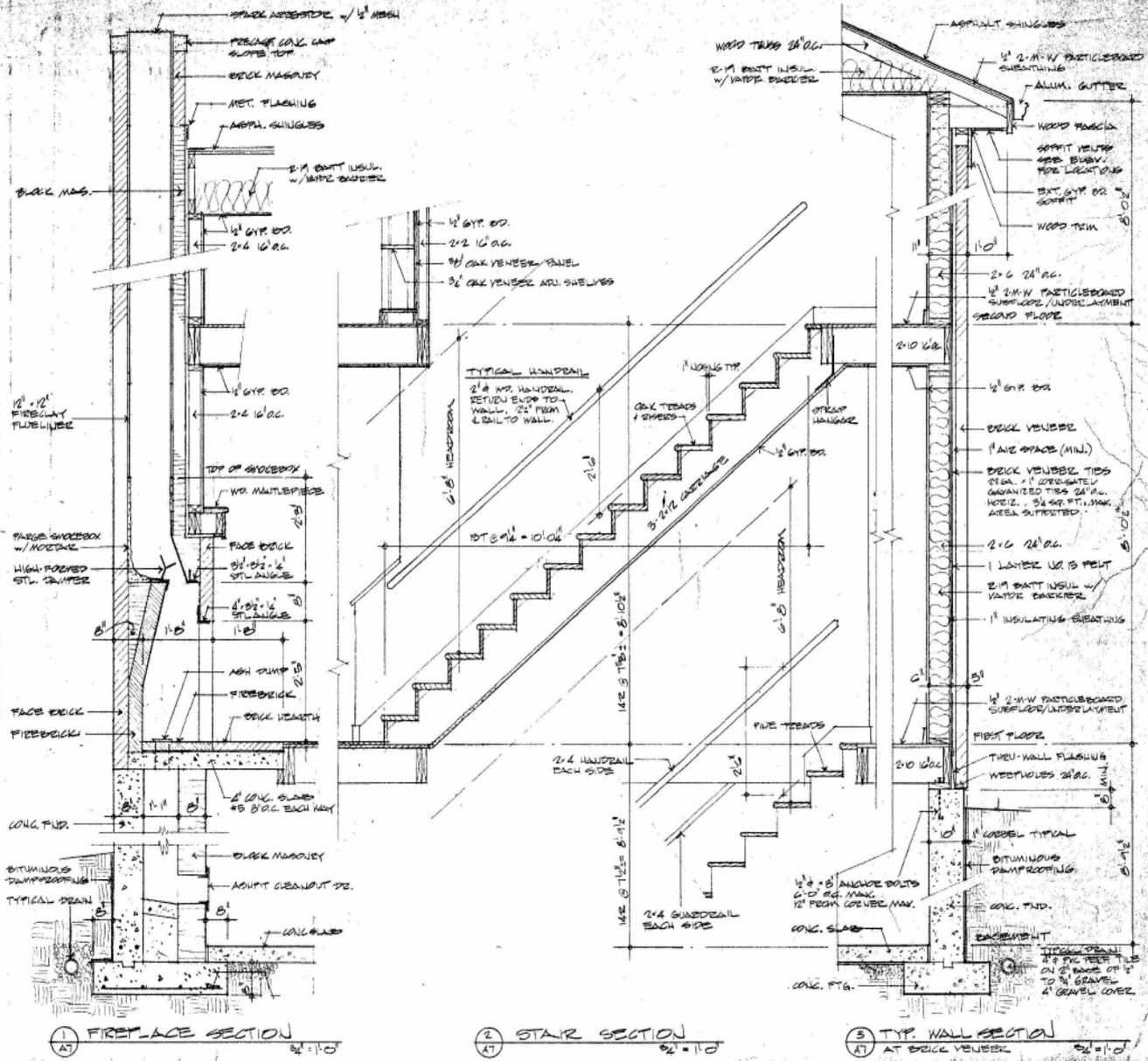


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Step 8: Insulation and Interior Finish Review Steps

1. Check for labeling and identification requirements for foam plastic.
2. Check for surface burning characteristics and thermal barrier requirements for foam plastics or details in accordance with Section R316.6.
3. Check wall and ceiling finishes.
4. Check flame spread of exposed insulating materials.
5. Check smoke-developed index of insulating materials.





Building Planning Plan Review Activity

- Use the plan review record, page 3-4 to fill out the Building Planning portion for Insulation and Interior Finish using the set of plans.

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation must be coordinated with the inspection phase (R110) of the project.

BUILDING PLANNING (Chapter 3)

DESIGN CRITERIA (Table R301.2(1))

_____ Floor live load (Table R301.5) _____ psf	_____ Parapets and construction (R302.2.2, R302.2.3)
_____ Roof live load (Table R301.6) _____ psf	_____ Two-family dwelling separation (R302.3)
_____ Ground snow load _____ psf	_____ Dwelling unit penetrations (R302.4)
_____ Ultimate design wind speed _____ mph	_____ Dwelling/garage opening/penetration protection (R302.5)
_____ Wind exposure category (R301.2.1.4)	_____ Dwelling/garage fire separation (R302.6)
_____ High wind design criteria applicable (R301.2.1.1)	_____ Under-stair protection (R302.7)
_____ Seismic design category (SDC) (Figure R301.2(2)) _____	_____ Wall and ceiling finishes (R302.9)
_____ SDC C&D provisions (R301.2.2) _____	_____ Flame spread index (R302.9.1)
_____ Weathering _____	_____ Smoke-developed index (R302.9.2)
_____ Frost line depth _____	_____ Insulation (R302.10)
_____ Termites area _____	_____ Flame spread/smoke-developed (R302.10.1, R302.10.2)
_____ Decay area _____	_____ Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4)
_____ Winter design temperature _____	_____ Testing (R302.10.5)
_____ Ice barrier underlayment required _____	_____ Draftstopping (R302.12)
_____ Flood hazards _____	_____ Fire protection of floors (R302.13)
_____ FIRE-RESISTANT CONSTRUCTION (R302)	_____ Combustible insulation clearance (R302.14)
_____ Exterior walls (R302.1, Tables R302.1(1) and R302.1(2)) _____	
_____ Townhouse separation (R302.2) _____	
_____ Continuity and structural independence (R302.2.1, R302.2.4) _____	

ROOM PLANNING REQUIREMENTS (R303 through R305)

Use	Area (ft ²)	Width	Ceiling height ¹	Natural light*	Natural ventilation*
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	6'-8"	9 square feet	1.1 square feet

* See Sections R303.1 & R303.3 for mechanical ventilation and artificial light and R303.4 for required whole-house mechanical ventilation.
¹ 6'-8" min. at plumbing fixtures and for non-habitable basements.

_____ Required heating (R303.5)

SANITATION (R306 and R307)

_____ Water closet	_____ GLAZING (R308)
_____ Lavatory	_____ Identification (R308.1)
_____ Tub or shower	_____ Louvered windows or jalousies (R308.2)
_____ Kitchen area with sink	_____ Human impact loads/hazardous locations (R308.3, R308.4)
_____ Sanitary sewer (Chapter 30)	_____ Skylights and sloped glazing (R308.6)
_____ Private disposal (Appendix I)	

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PLANNING (cont'd)

AUTOMATIC FIRE SPRINKLER SYSTEMS (R313)

_____ Townhouses (R313.1)
_____ One- and two-family dwellings (R313.2)

SMOKE ALARMS (R314)

_____ Referenced standards (R314.1)
_____ Location and interconnection (R314.3, R314.4)
_____ Power source (R314.6)

CARBON MONOXIDE ALARMS (R315)

_____ New construction (R315.1, R315.2)
_____ Existing construction (R315.2.2)

FOAM PLASTIC (R302.3, R316)

_____ Labeling (R316.2)
_____ Surface burning, thermal barrier, specific approval (R316.3 - R316.6)

DECAY AND TERMITES PROTECTION (R317 and R318)

_____ Protection required (Table R301.2(1), R317.1, R318.1)
_____ Quality mark (R317.2 and R318.1.1)

SITE ADDRESS (R319)

_____ Address numbers (R319.1)

ACCESSIBILITY (R320)

_____ Type B dwelling units applicable (R320.1)

ELEVATORS/PLATFORM LIFTS (R321)

_____ Referenced standards (R321.1 - R321.3)

FLOOD-RESISTANT CONSTRUCTION (R322)

_____ General (R322.1)
_____ Hazard area and requirements (R301.2.4, R308.3, R322.2, R322.3)
_____ Design professional (R322.3.6)

STORM SHELTERS (R323)

_____ General/referenced standard (R323.1)

SOLAR ENERGY SYSTEMS (R324)

_____ System, installation, access (R324.2 - R324.7)

MEZZANINES (R325)

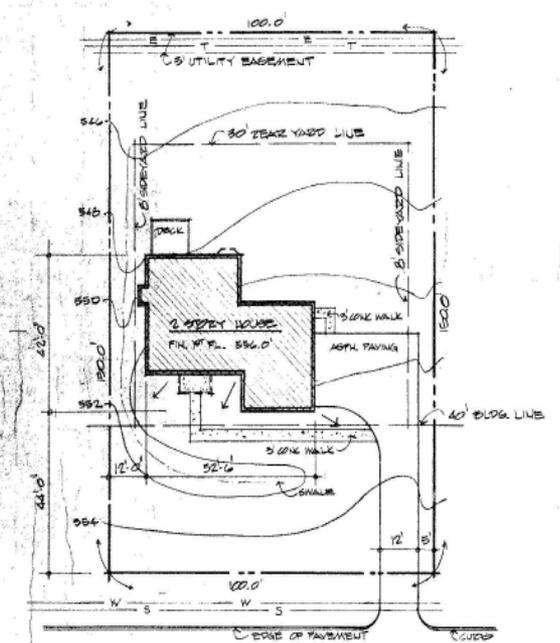
_____ Area, egress, openness (R325.2 - R325.5)

SWIMMING POOLS, SPAS AND HOT TUBS (R326)

_____ ISPSC (R326.1)

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DAYTONA BLVD. (60' R.O.W.)

PLOT PLAN

1" = 20'

REMARK: ELEVATION 557.0 TOP OF MANHOLE COVER AT INTERSECTION OF DAYTONA BLVD. & MATIUS GLEN RD.

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SPECIFICATION

GENERAL REQUIREMENTS:

Contract will be AIA A197. Lien waivers will be required at the completion of the project. Contractor to visit the site and verify existing conditions prior to bidding. General Contractor to supply for, pay for, and pick up all permits.

Insurance: Worker's Compensation-Statutory, Comprehensive General Liability, Comprehensive Automobile Liability, and Owner's Liability all by General Contractor. Certificates shall be filed with Owner before beginning work. Owner to provide Property Insurance based on completed value.

SITING:

All sitework to be coordinated with Landscape Work. Asphalt paving shall be 3" on top of 6" gravel base.

Excavate and backfill: All debris to be removed from site promptly. Protect interior and exterior work at perimeter of addition with EPA approved termite bait by baifide pest control company.

Landscape by Owner:

CONCRETE:
Air entrain exposed side. Concrete shall have a strength of 3000 psi at 28 days.

MASONRY:

All brick laid up 3 courses per ft. Brick veneer ties as indicated on drawings. Provide 3 oz. copper/lead through-wall flashing at bottom of walls and at all joints. Seal laps.

Woops to be full height, open headjoints at 24 in. At the base of brick veneer, provide #15 felt board breaker under flashing 4 feet in both directions at all corners.

CARPENTRY:

Floor and wall framing shall be as follows: Floor Construction - No. 2 Proderum Pine, Wall Construction - Stud grade or No. 2 2 x 4's. Interior loadbearing studs Δ at 16" oc. Plates on corners shall be pressure-treated.

Trim Design Loads: 20 psf snow load, 10 psf wind load, dead load on top chord 10 psf, dead load bottom chord 5 psf. Manufacturer shall submit cross drawings and calculations for permit.

All Deck with surface, posts, and railings shall be clear grade redwood. Concealed framing below deck shall be pine.

THERMAL AND MOISTURE PROTECTION:

Apply 1 coat bituminous waterproofing per manufacturer's recommendation.

Unless otherwise indicated, fast insulation to be foil faced fiberglass, R-value as indicated.

Lap siding shall be 8" exposure vinyl siding. Include all corner, window and door trim necessary for a complete installation.

Insulating sheathing shall be closed-cell extruded polystyrene foam board with shiplap edges in thickness indicated. Insulate per manufacturer's recommendations.

Foam insulation in crevices shall be closed-cell extruded polystyrene foam in thickness indicated, applied with adhesive per manufacturer's recommendations.

Asphalt shingles to be 240 lb. self-sealing. Apply per manufacturer's recommendations.

All flashing, gutters and downspouts shall be prefinished aluminum.

Exterior caulking shall be one part urethane applied per manufacturer's instructions. Interior caulking shall be acrylic base.

Sealant to be to be stamped, pre-finished aluminum, 8" x 16" (48 sq. in. net free area). Vents at roof to be stainless with insect screens, 15" x 16" (50 sq. in. net free area).

Skylights to be fixed, self-flashing, solar grey, double-glazed, both lines fully tempered.

DOORS AND WINDOWS:

Windows and Sliding Patio Doors shall be vinyl clad, white finish, with Type II Systems glazing, hardware and sills. Provide grilles at units as indicated. Provide screws at all operable units. Overhead doors at Garage to be steel raised panel door, non-insulated, with all necessary hardware for a complete installation.

FINISHES:

Provide standard gypsum board for interior work, WR board at wet plumbing walls. Gypsum board shall receive 3 coat top job. Commission header board behind tile and cultured marble.

Paint exterior wood 2 coats acrylic primer, 1 coat exterior latex sheen.

All gypsum board shall receive 1 coat PVA primer first coat of latex the paint, unless otherwise noted.

All door and window casings to be painted. All interior doors to be painted. Interior wood painted: enamel undercoat, two top coats eggshell finish/alkyd base. Prime gypsum board that is to be papered with one coat alkylid enamel undercoat. Subsequent coats shall receive 2 coats Moisture-resis-gloss enamel.

DATE: 08/19

GENERAL NOTES

1. ALL HEADINGS TO BE 2-2x12 UNLESS OTHERWISE NOTED.
2. ALL STEEL LUTELS SUPPORTING BEAM MANHOLE TO BE 2x12x6 UNLESS OTHERWISE NOTED.

DESIGN CRITERIA

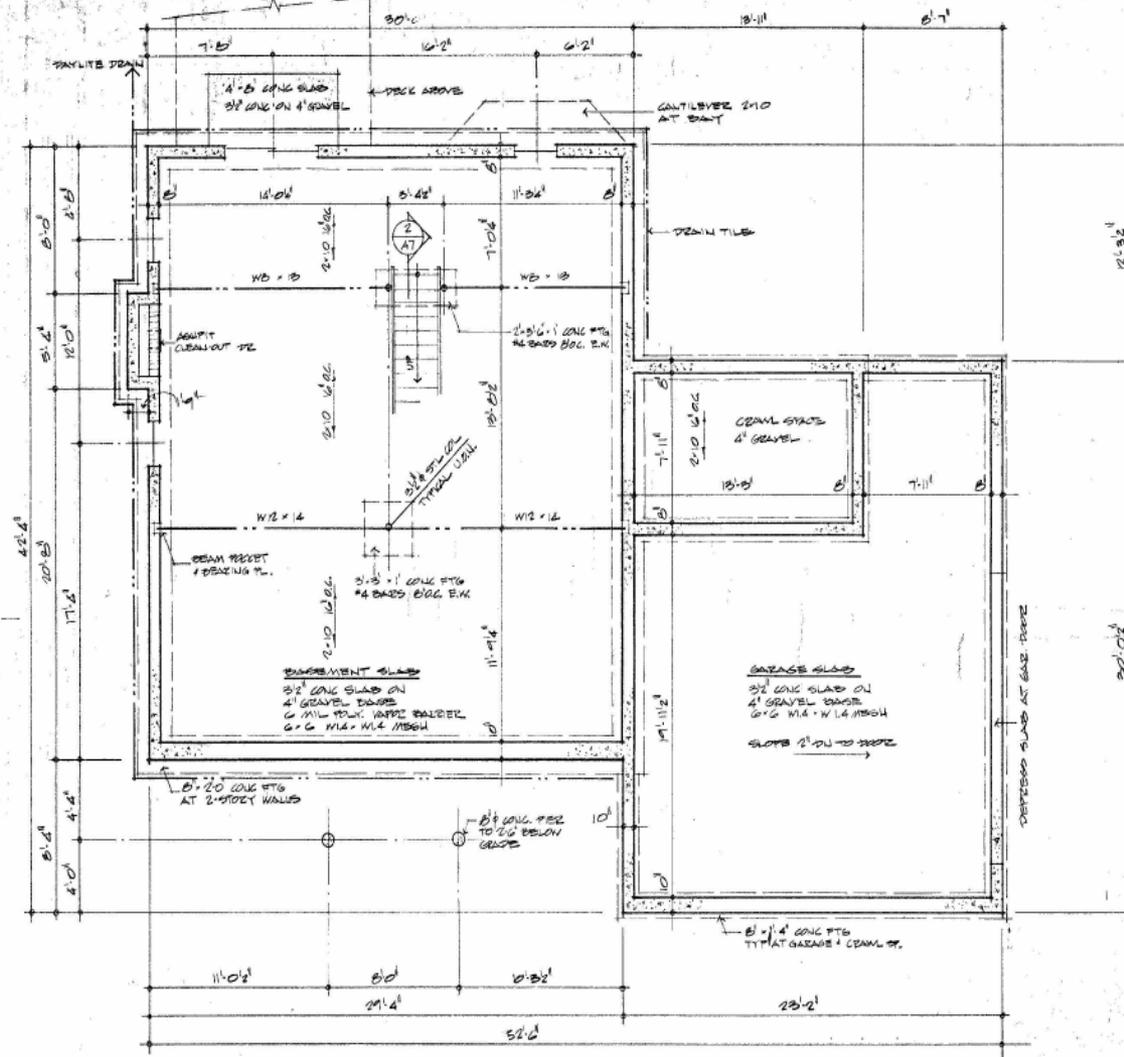
FIRST LEVEL	2'-0"
SEWING ZONE	2
FIRST FLOOR: LL	40 LBS/FT ²
SECOND FLOOR: LL	30 LBS/FT ²
ROOF: LL	10 LBS/FT ²
DL	10 LBS/FT ²

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BASEMENT PLAN



4' = 1" 0"

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 5708 E. TERRY DR. EVANSTON, ILL. USA

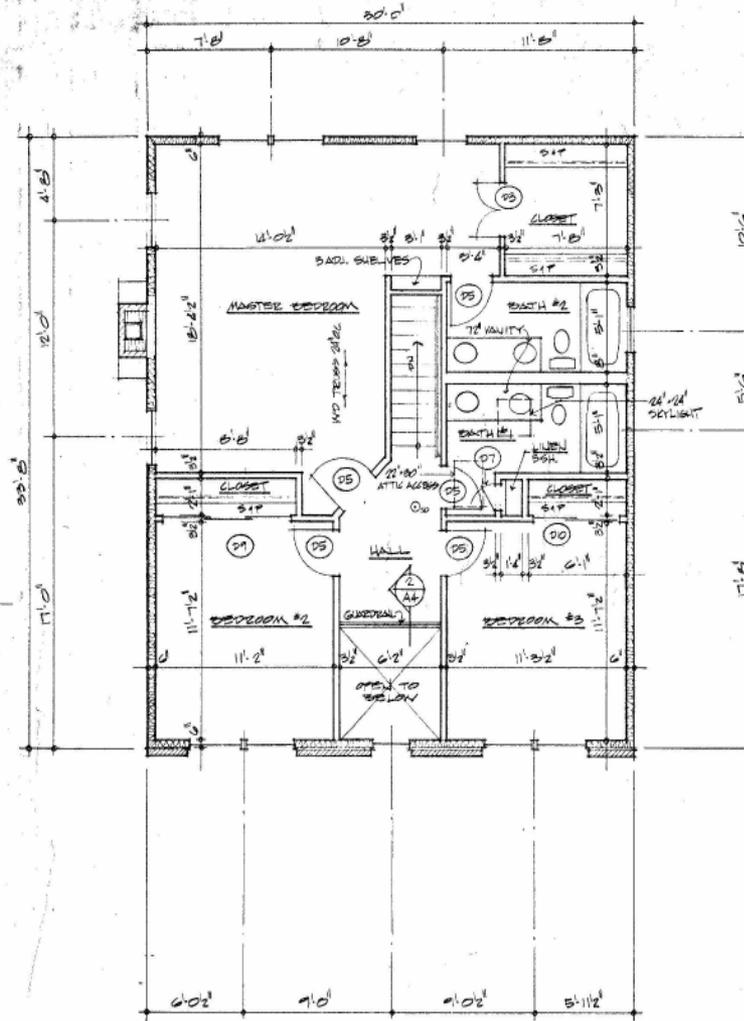
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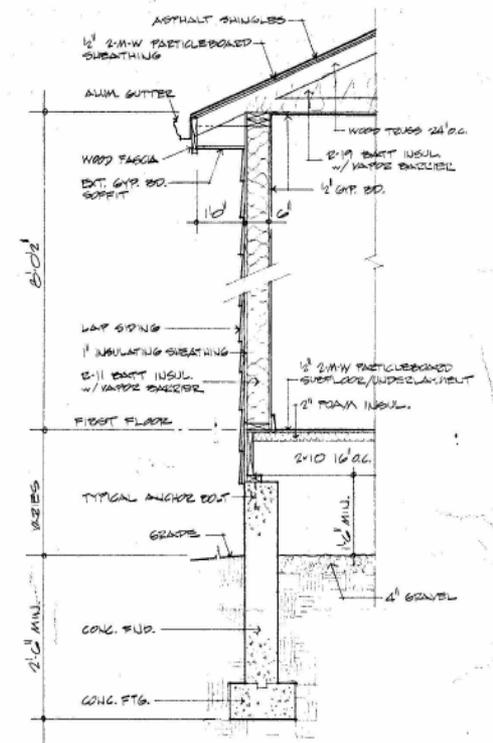




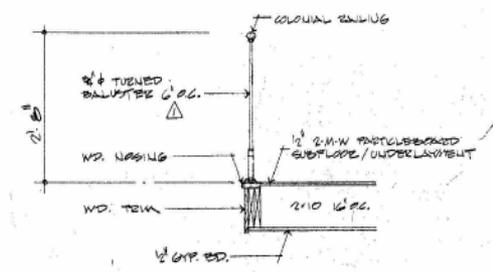
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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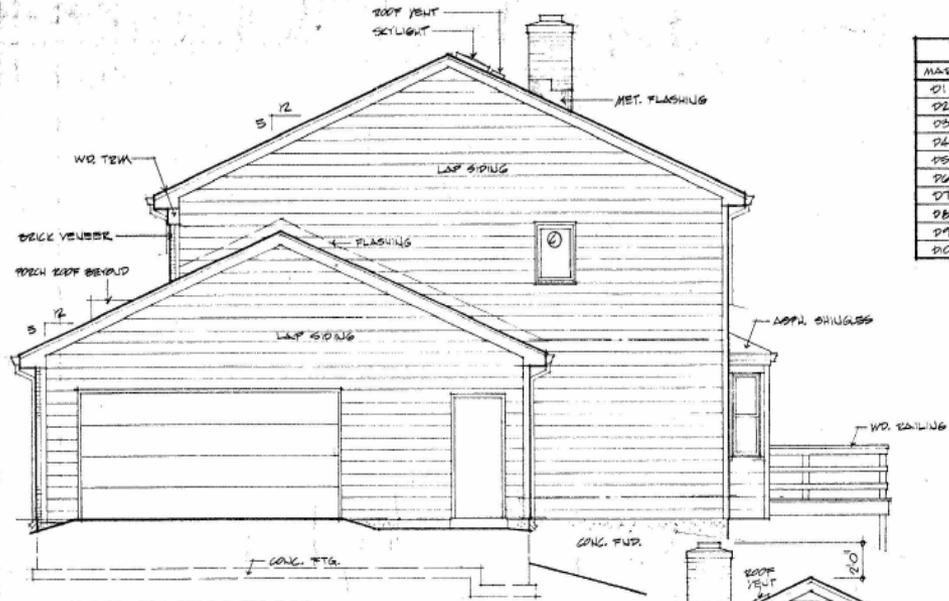


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
						REQ'D
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST	62.0	14.5	10.7	5.3
F	24" x 24"	LANDRY	22.5	5.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	25.65
F	36" x 24"	BEDROOM				
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	40.0 CFM
C	24" x 24"	BATH #2	52.5	2.0	4.0	2.0
B	36" x 18"	BATH #3	300.0	40.0	34.9	22.0
D	36" x 24"	BEDROOM #3	121.0	10.2	22.0	5.2



EAST ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE		
MARK	SIZE	TYPE
D1	30" x 6'0"	MET ENTRY
D2	30" x 6'0"	PANELED WOOD
D3	30" x 6'0"	PANELED WOOD
D4	40" x 6'0"	PANELED W.D. BRAD
D5	20" x 6'0"	PANELED W.D.
D6	30" x 6'0"	1 1/2" SOLID WOOD W.P.
D7	10" x 6'0"	PANELED W.D.
D8	7'0" x 6'0"	PANELED MET. GARAGE
D9	30" x 6'0"	W.D. EXTERIOR FLASH
D0	30" x 6'0"	W.D. EXTERIOR FLASH

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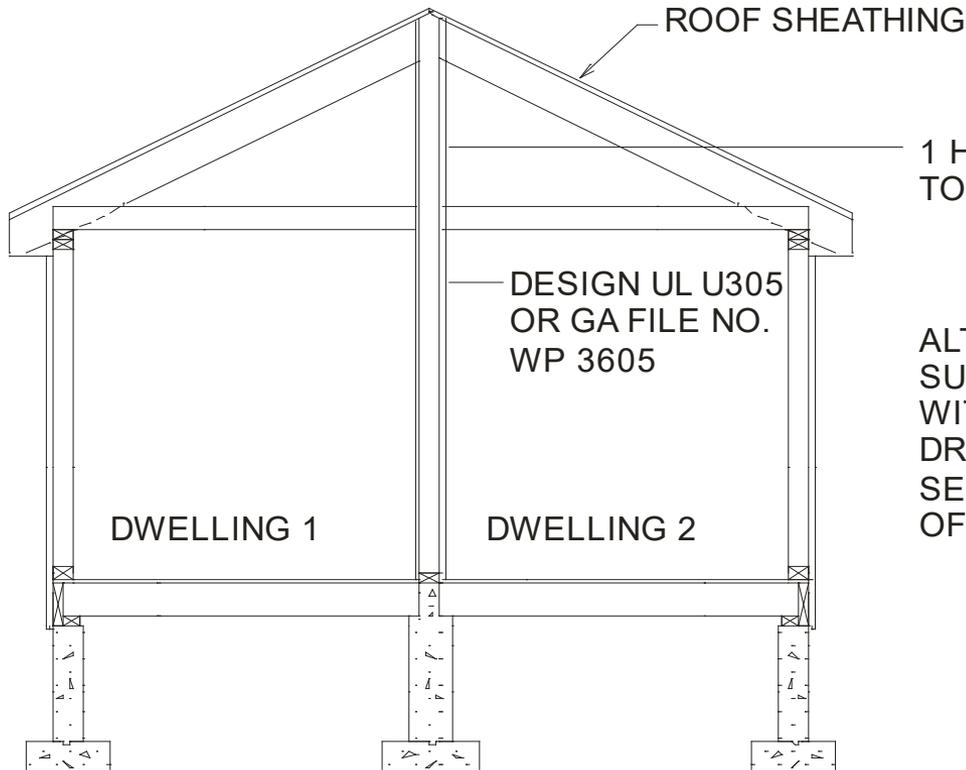
Step 9: Dwelling Unit Separation

Review Steps

1. Check two-family dwelling for 1-hour separation wall (or 1/2-hour with sprinkler system).
2. Check townhouse construction for 1-hour exterior and common walls.
3. Check for continuity of separation.
4. Determine if townhouse walls require parapet.
5. Check townhouse construction for structural independence.



R302.3 Two-family Dwelling Separation

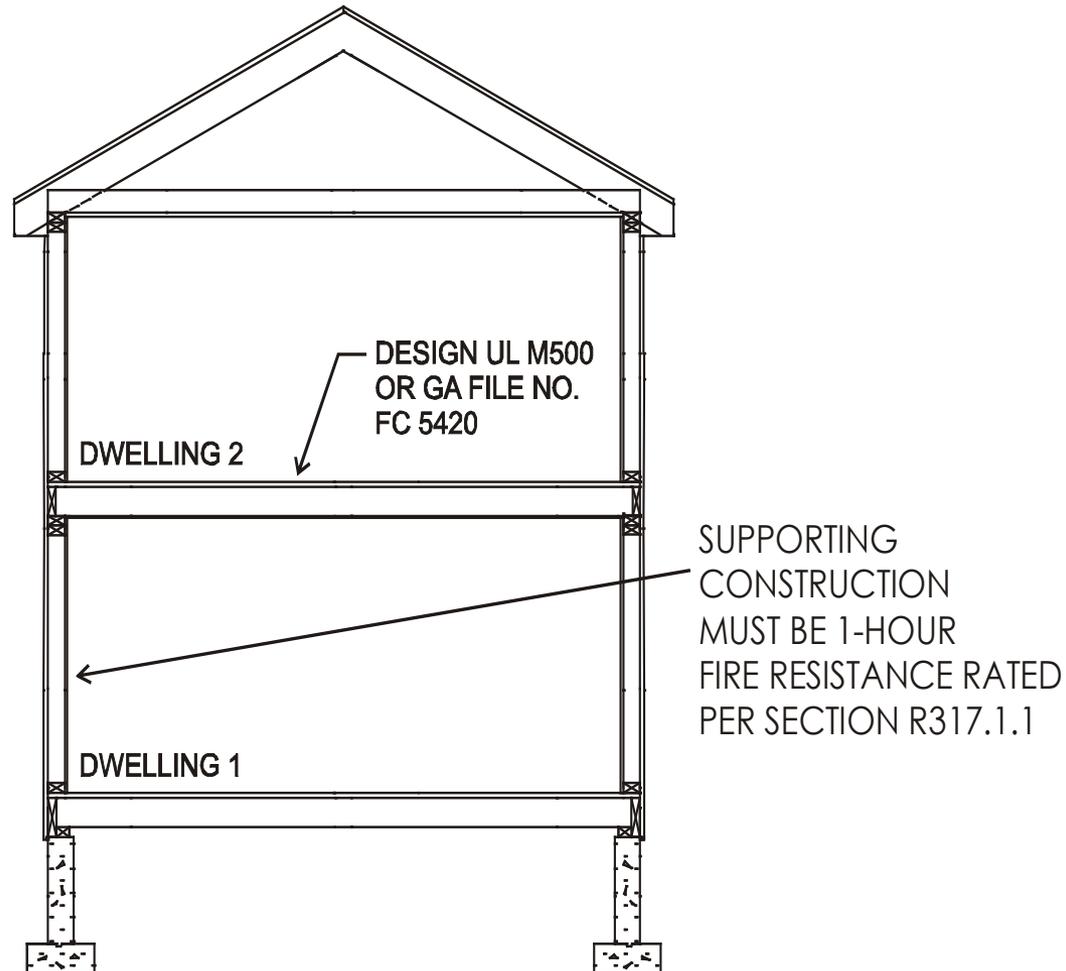


1 HOUR WALL CONTINUING UP TO UNDERSIDE OF ROOF SHEATHING.

- OR -

ALTERNATIVELY, IF THE CEILING AND ITS SUPPORTING CONSTRUCTION ARE PROTECTED WITH 5/8 INCH TYPE X GYPSUM BOARD, DRAFTSTOPPING IN ACCORDANCE WITH SECTION R502.12.1 MAY BE UTILIZED IN LIEU OF THE RATED ASSEMBLY IN THE ATTIC SPACE.

R302.3 Two-family Dwelling Separation





Building Planning Plan Review Activity

- Use the plan review record, page 3, to fill out the Building Planning portion for Dwelling Unit Separation using the set of plans.

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation must be coordinated with the inspection phase (R100) of the project.

BUILDING PLANNING

DESIGN CRITERIA (Table R301.2(1))

Floor live load (Table R301.5) _____ psf

Roof live load (Table R301.6) _____ psf

Ground snow load _____ psf

Ultimate design wind speed _____ mph

Wind exposure category (R301.2.1.4) _____

High wind design criteria applicable (R301.2.1.1) _____

Seismic design category (SDC) (Figure R301.2(2)) _____

SDC C&D provisions (R301.2.2) _____

Weathering _____

Frost line depth _____

Termite area _____

Decay area _____

Winter design temperature _____

Ice barrier underlayment required _____

Parapets and construction (R302.2.2, R302.2.3) _____

Two-family dwelling separation (R302.3) _____

Dwelling unit penetrations (R302.4) _____

Dwelling/garage opening/penetration protection (R302.5) _____

Dwelling/garage fire separation (R302.6) _____

Wall and ceiling finishes (R302.9) _____

Flame spread index (R302.9.1) _____

Smoke-developed index (R302.9.2) _____

Testing (R302.9.3, R302.9.4) _____

Insulation (R302.10) _____

Flame spread/smoke-developed (R302.10.1, R302.10.2) _____

Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4) _____

Testing (R302.10.5) _____

Fireblocking (R302.11) _____

Draftstopping (R302.12) _____

Fire protection of floors (R302.13) _____

Combustible insulation clearance (R302.14) _____

FIRE-RESISTANT CONSTRUCTION (R302)

Exterior walls (R302.1, Tables R302.1(1) and R302.1(2)) _____

Townhouse separation (R302.2) _____

Continuity and structural independence (R302.2.1, R302.2.4) _____

ROOM PLANNING REQUIREMENTS (Rooms through 1306)

Use	Area (ft ²)	Width	Ceiling height†	Natural light*	Natural ventilation*
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	6'-8"	3 square feet	1.7 square feet

* See Sections R302.1 & R302.2 for mechanical ventilation and artificial light and R302.4 for required whole-house mechanical ventilation.
† 6'-8" min. at plumbing fixtures and for non-habitable basements.

Required heating (R303.5) _____

GLAZING (R308)

Identification (R308.1) _____

Louvered windows or jalousies (R308.2) _____

Human impact loads/hazardous locations (R308.3, R308.4) _____

Skylights and sloped glazing (R308.6) _____

SANITATION (R306 and R307)

Water closet _____

Lavatory _____

Tub or shower _____

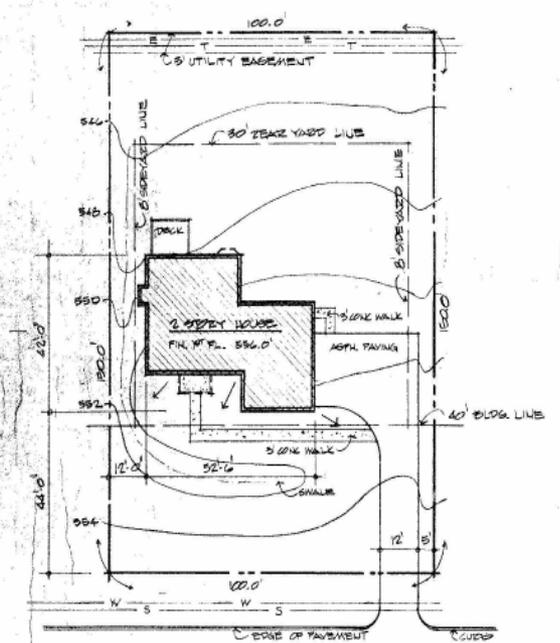
Kitchen area with sink _____

Sanitary sewer (Chapter 30) _____

Private disposal (Appendix I) _____

-3-





DAYTONA BLVD. (60' R.O.W.)

PLOT PLAN

1" = 20'

REMARK: ELEVATION 557.0 TOP OF MANHOLE COVER AT INTERSECTION OF DAYTONA BLVD. & MATTHEW GLEN RD.

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SPECIFICATION

GENERAL REQUIREMENTS:

Contract will be AIA A191. Lien waivers will be required at the completion of the project. Contractor to visit the site and verify existing conditions prior to bidding. General Contractor to supply for, pay for, and pick up all permits.

Insurance: Worker's Compensation-Statutory, Comprehensive General Liability, Comprehensive Automobile Liability, and Owner's Liability all by General Contractor. Certificates shall be filed with Owner before beginning work. Owner to provide Property Insurance based on completed value.

SITEWORK:

All sitework to be coordinated with Landscape Work. Asphalt paving shall be 2" on top of 6" gravel base.

Excavate and backfill: All debris to be removed from site promptly. Protect interior and exterior work at perimeter of addition with EPA approved termiteicide by bio-fide pest control company.

Landscape by Owner:

CONCRETE:
Air entrain exposed side. Concrete shall have a strength of 3000 psi at 28 days.

MASONRY:

All brick laid up 3 courses per ft. Brick veneer ties as indicated on drawings. Provide 3 oz copper/lead through-wall flashing at bottom of walls and at all joints. Seal laps.

WROPS:

Wrope to be full height, open headjoints at 24 in. At the base of brick veneer, provide #15 felt board breaker under flashing 4 feet in both directions at all corners.

CARPENTRY:

Floor and wall framing shall be as follows: Floor Construction - No. 2 Proderon Stud, Wall Construction - Stud grade or No. 2 2 x 4's. Interior loadbearing studs Δ at 16" oc. Plates on concrete shall be pressure-treated.

Trim Design Loads: 20 psf snow load, 10 psf wind load, dead load on top chord 10 psf, dead load bottom chord 5 psf. Manufacturer shall submit cross drawings and calculations for permit.

All Deck walk surfaces, posts, and railings shall be clear grade redwood. Concealed framing below deck shall be pine.

THERMAL AND MOISTURE PROTECTION:

Apply 1 coat bituminous waterproofing per manufacturer's recommendation.

Unless otherwise indicated, fast insulation to be foil faced fiberglass, R-value as indicated.

Lap siding shall be 8" exposure vinyl siding. Include all corner, window and door trim necessary for a complete installation.

Insulating sheathing shall be closed-cell extruded polystyrene foam board with shiplap edges in thickness indicated. Insulate per manufacturer's recommendations.

Foam insulation in crevices shall be closed-cell extruded polystyrene foam in thickness indicated, applied with adhesive per manufacturer's recommendations.

Asphalt shingles to be 240 lb. self-sealing. Apply per manufacturer's recommendations.

All flashing, gutters and downspouts shall be prefinished aluminum.

Exterior ceiling shall be one part urethane applied per manufacturer's instructions. Interior ceiling shall be acrylic base.

Soffit vents to be stamped, pre-finished aluminum, 8" x 16" (48 sq. in. net free area). Vents at roof to be diameter with insect screens, 15" x 16" (50 sq. in. net free area).

Skylights to be fixed, self-flashing, solar grey, double-glazed, both lines fully tempered.

DOORS AND WINDOWS:

Windows and Sliding Patio Doors shall be vinyl clad, white finish, with Type II System glazing, hardware and sills. Provide grilles at units as indicated. Provide screws at all operable units. Overhead doors at Garage to be steel raised panel door, non-insulated, with all necessary hardware for a complete installation.

FINISHES:

Provide standard gypsum board for interior work, WR board at wet plumbing walls. Gypsum board shall receive 3 coat tape job. Cementitious backer board behind tile and cultured marble.

Paint exterior wood 2 coats acrylic primer, 1 coat exterior latex sheen.

All gypsum board shall receive 1 coat PVA primer first coat of latex the paint, unless otherwise noted.

All door and window casings to be painted. All interior doors to be painted. Interior wood painted: enamel undercoat, two top coats eggshell finish/alkyd base. Prime gypsum board that is to be papered with one coat alkylid enamel undercoat. Subsequent coats shall receive 2 coats Moisture-resis-gloss enamel.

1/26/2015/10

GENERAL NOTES

1. ALL HEADINGS TO BE 2-2x12 UNLESS OTHERWISE NOTED.
2. ALL STEEL LUTELS SUPPORTING BEAM MANHOLE TO BE 2x12x6 UNLESS OTHERWISE NOTED.

DESIGN CRITERIA

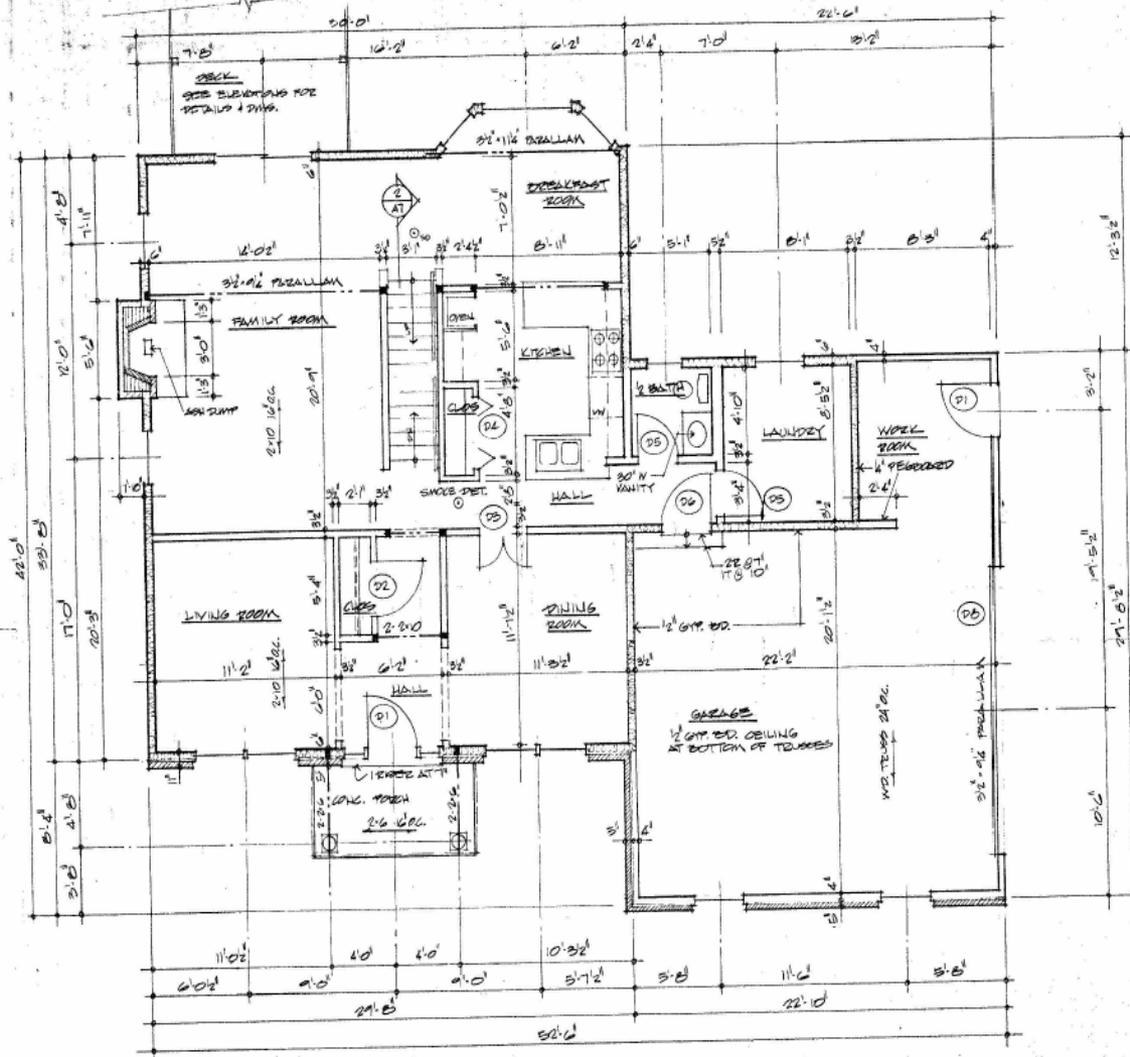
FIRST LEVEL	2'-0"
SEISMIC ZONE	2
FIRST FLOOR: LL	40 LBS/SF
SECOND FLOOR: LL	30 LBS/SF
ROOF: LL	20 LBS/SF
DL	10 LBS/SF

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500 EASTMAN BLVD. EVANSTON, ILL. USA

KARL WILLIAMS, INC.
ARCHITECTS
500 E. PEARO DR.
EVANSTON, ILL. USA



SHEET
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OF 7



FIRST FLOOR PLAN

4'-1'-0"

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 800 EASTPARK BLVD. EVANSTON, ILL.

MATT WILLIAMS INC.
 ARCHITECTS
 504 E. TERRY DR.
 EVANSTON, ILL.

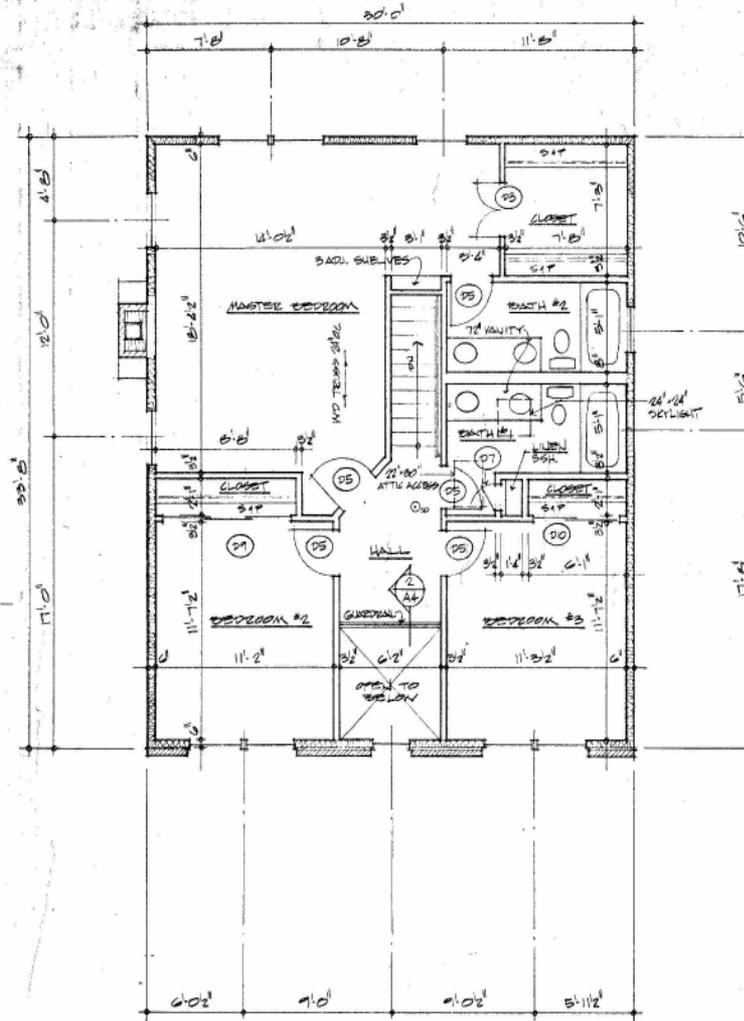


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PREVIOUS

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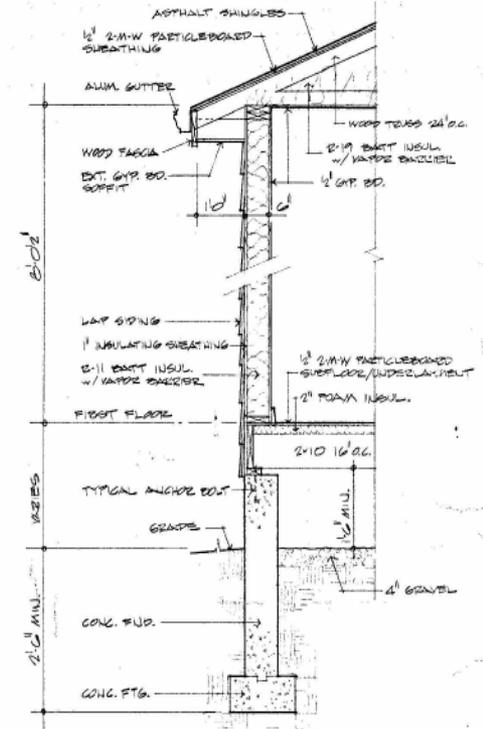




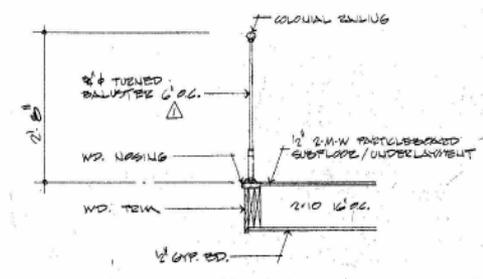
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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Step 10: Fire Protection of Floors

Review

1. Check that all non-rated floor/ceiling assemblies are provided with a 1/2 inch thick gypsum board ceiling or equal.
2. Check that all penetrations or openings for air or exhaust ducts, mechanical and plumbing vents, electrical outlets, lighting, wiring, etc. are properly sealed and protected to maintain the ceiling integrity.
3. Check whether the Exceptions of Section R302.13 apply.

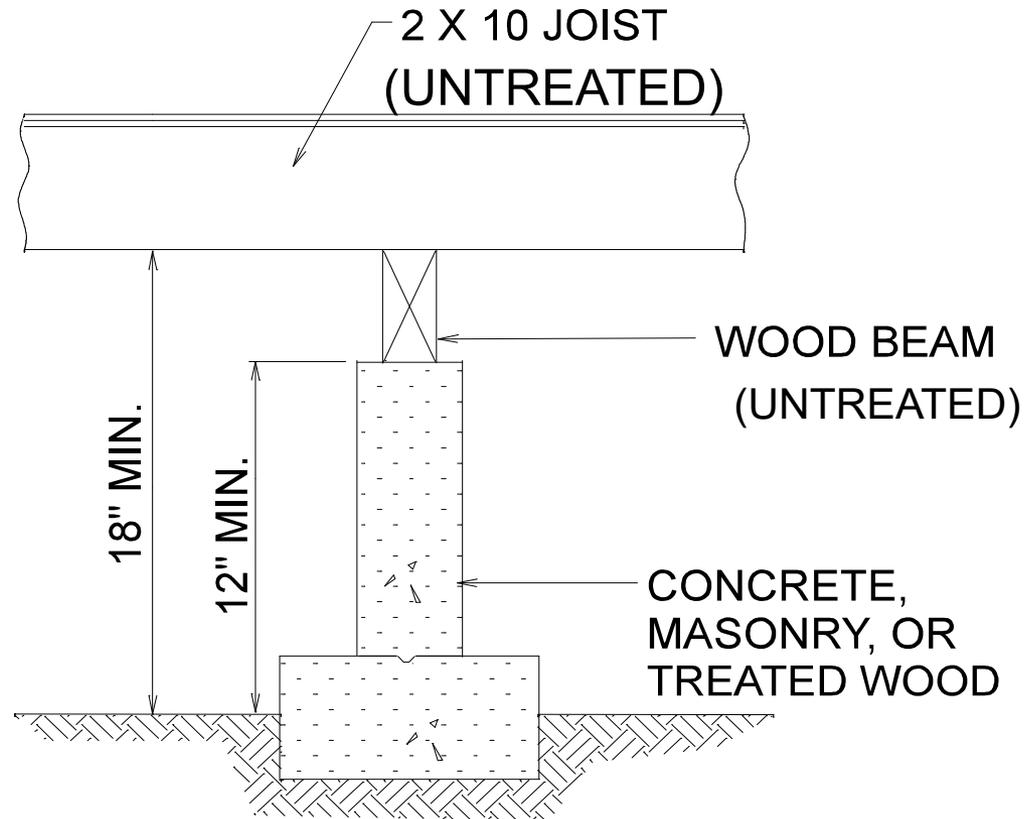


Step 11: Moisture, Decay and Termite Protection Review Steps

1. Determine if a moisture vapor retarder is specified and code compliant.
2. Determine if minimum clearances are provided or if naturally durable or treated wood is used.
3. Check submerged or embedded posts, poles or columns for ground contact use.
4. Determine if termite protection is required.
5. Check for naturally durable or treated wood where the local jurisdiction has indicated so in Table R302.2(1).

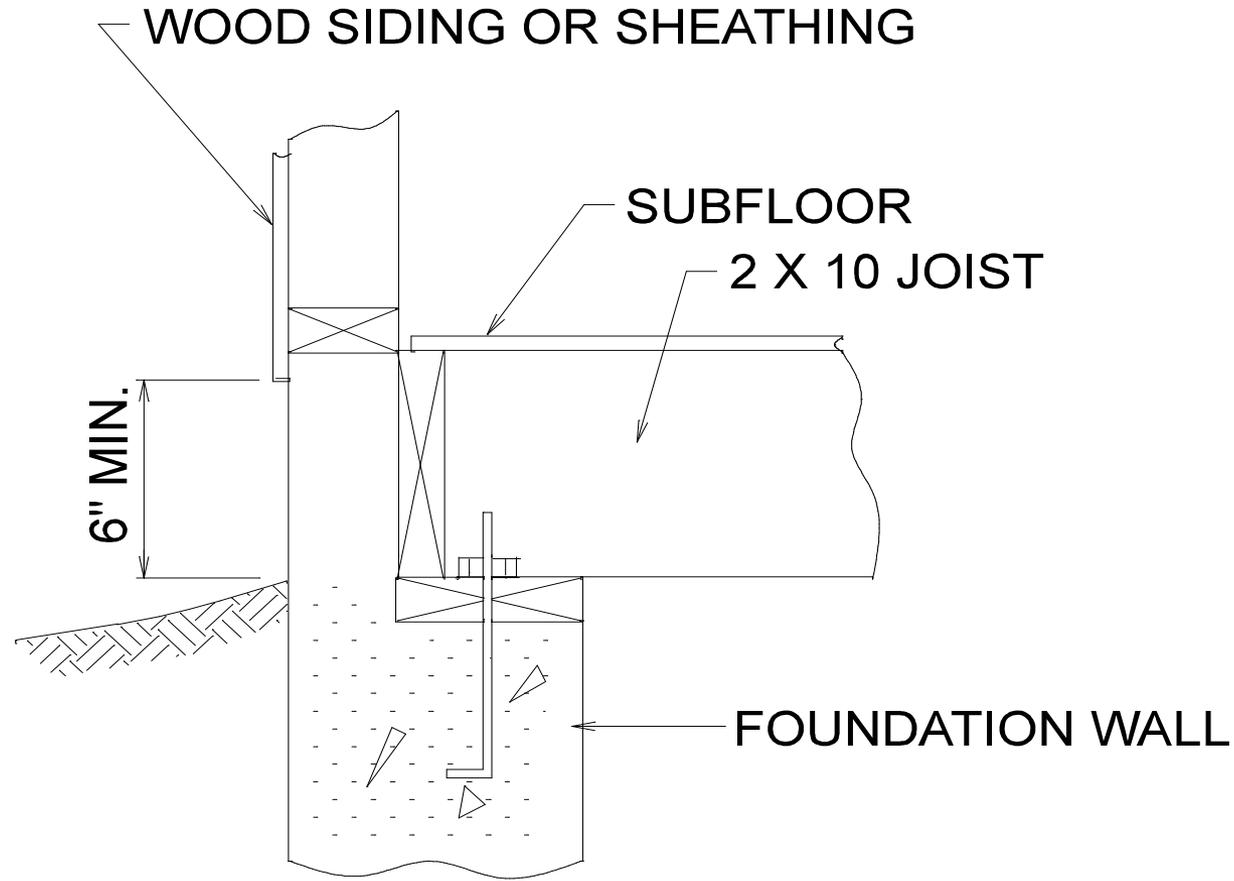


R319.1 Locations Requiring Protection from Decay



Minimum Separation of Wood From Ground

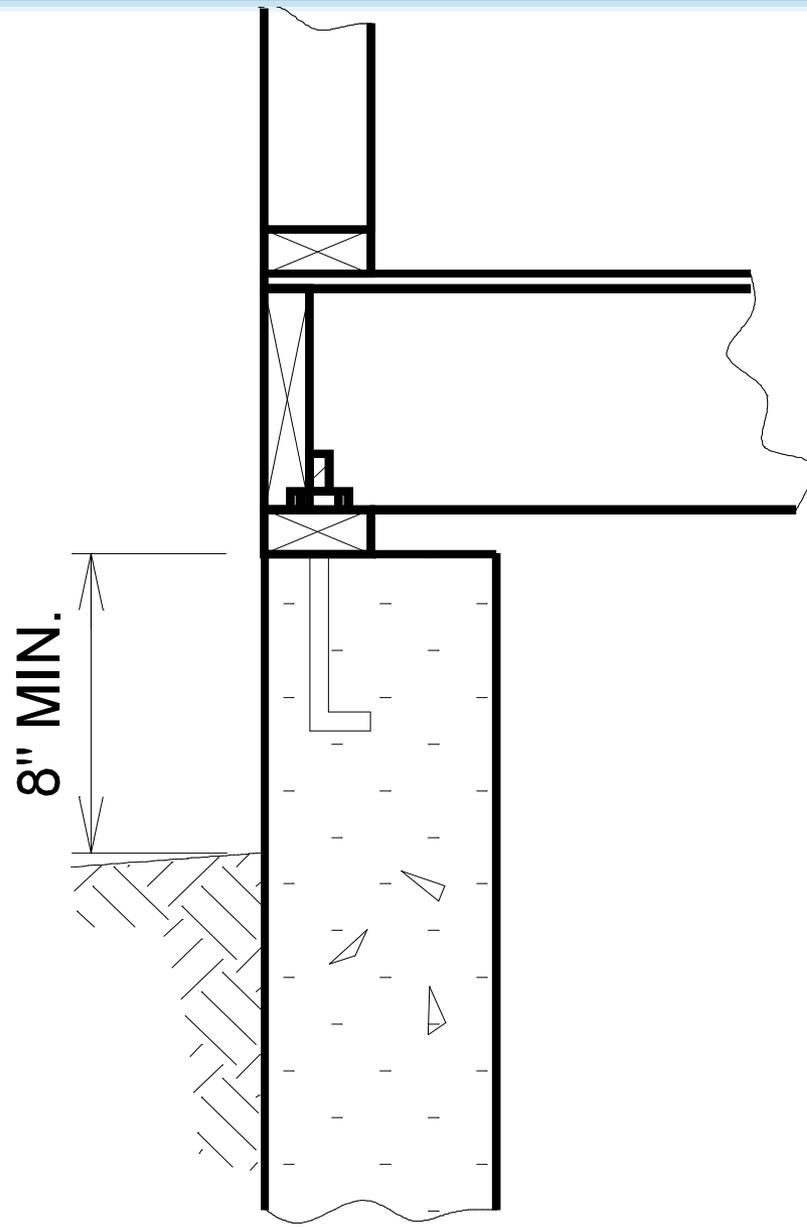
R317 Decay Protection Review



**Wood
Siding or
Sheathing**

R317 Decay Protection Review

**Wood Sills
on Exterior
Foundation
Walls**





Building Planning Plan Review Activity

- Use the plan review record, page 3, to fill out the Building Planning portion for Moisture, Decay and Termite Protection using the set of plans.

NOTE: Entries to this Plan Review Record require a field check or inspection of the installation must be coordinated with the inspection phase (R100) of the project.

BUILDING PLANNING (Chapter 3)

DESIGN CRITERIA (Table R301.2(1))

Floor live load (Table R301.5) _____ psf	Parapets and construction (R302.2.2, R302.2.3)
Roof live load (Table R301.6) _____ psf	Two-family dwelling separation (R302.3)
Ground snow load _____ psf	Dwelling unit penetrations (R302.4)
Ultimate design wind speed _____ mph	Dwelling/garage opening/penetration protection (R302.5)
Wind exposure category (R301.2.1.4) _____	Dwelling/garage fire separation (R302.6)
High wind design criteria applicable (R301.2.1.1) _____	Under-stair protection (R302.7)
Seismic design category (SDC) _____	Wall and ceiling finishes (R302.9)
[Figure R301.2(2)] _____	Flame spread index (R302.9.1)
SDC C&D provisions (R301.2.2) _____	Smoke-developed index (R302.9.2)
Frost line depth _____	Testing (R302.9.3, R302.9.4)
Termite area _____	Insulation (R302.10)
Decay area _____	Flame spread/smoke-developed (R302.10.1, R302.10.2)
Winter design temperature _____	Cellulose loose-fill and exposed attic insulation (R302.10.3, R302.10.4)
Ice barrier underlayment required _____	Testing (R302.10.5)
Flood hazards _____	Fireblocking (R302.11)

FIRE RESISTANT CONSTRUCTION (R302)

_____ Exterior walls (R302.1, Tables R302.1(1) and R302.1(2))	_____ Fireblocking (R302.11)
_____ Townhouse separation (R302.2)	_____ Draftstopping (R302.12)
_____ Continuity and structural independence (R302.2.1, R302.2.4)	_____ Fire protection of floors (R302.13)
	_____ Combustible insulation clearance (R302.14)

ROOM PLANNING REQUIREMENTS (R303 through R305)

Use	Area (ft ²)	Width	Ceiling height†	Natural light*	Natural ventilation*
Living	70	7'-0"	7'-0"	8% floor area	4% floor area
Dining	70	7'-0"	7'-0"	8% floor area	4% floor area
Kitchen	N.A.	N.A.	7'-0"	8% floor area	4% floor area
Bedroom	70	7'-0"	7'-0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	6'-8"	3 square feet	1 1/2 square feet

* See Sections R303.1 & R303.2 for mechanical ventilation and artificial light and R303.4 for required whole-house mechanical ventilation.
† 6'-8" min. at plumbing fixtures and for non-habitable basements.

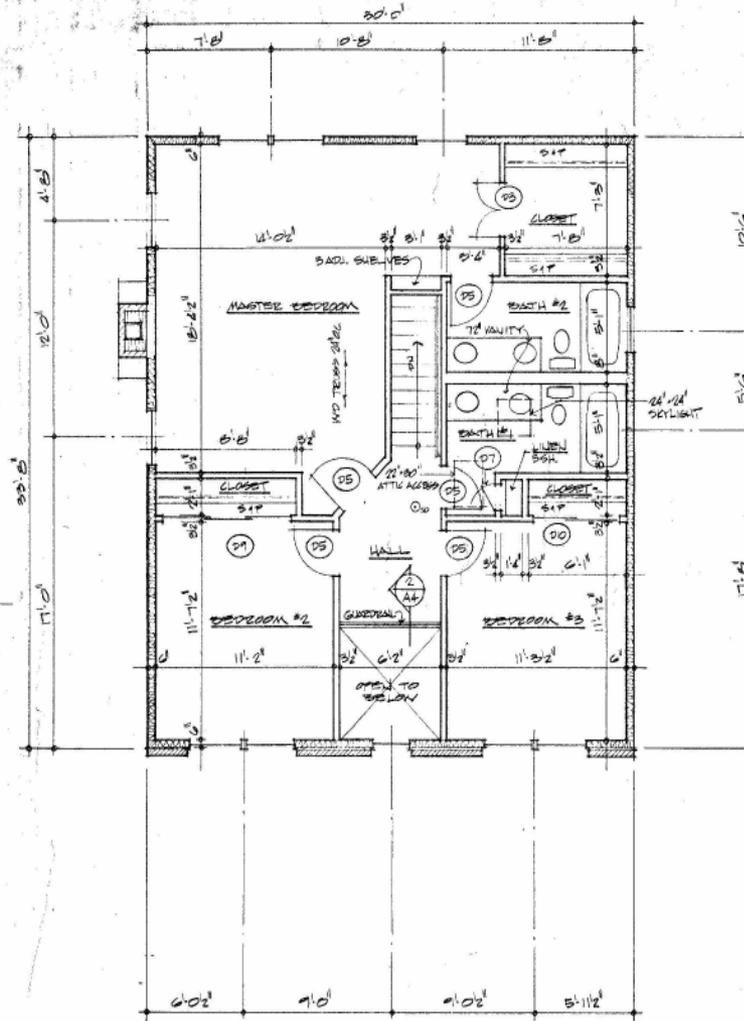
Required heating (R303.5) _____

SANITATION (R306 and R307)

_____ Water closet	_____ Identification (R308.1)
_____ Lavatory	_____ Louvered windows or jalousies (R308.2)
_____ Tub or shower	_____ Human impact loads/hazardous locations (R308.3, R308.4)
_____ Kitchen area with sink	_____ Skylights and sloped glazing (R308.6)
_____ Sanitary sewer (Chapter 30)	
_____ Private disposal (Appendix I)	

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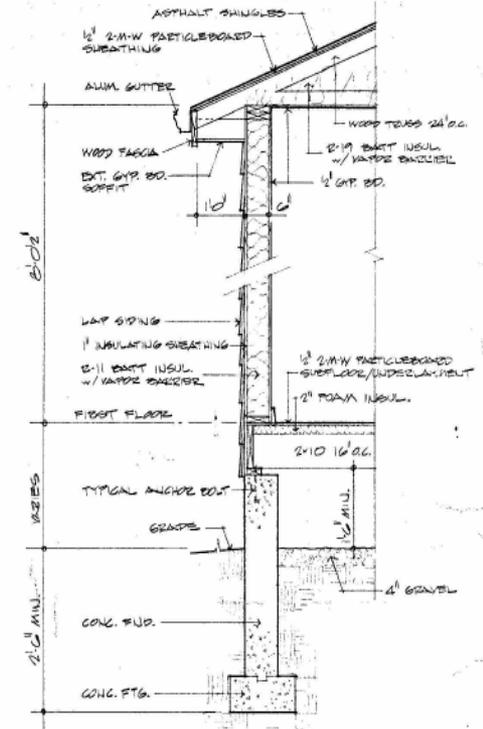




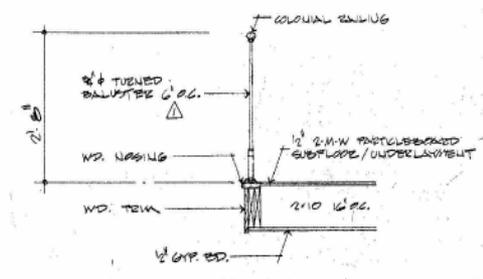
SECOND FLOOR PLAN

4" = 1'-0"

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SECTION AT CRAWL SPACE
3/2" = 1'-0"



SECTION AT GUARDRAIL
3/2" = 1'-0"

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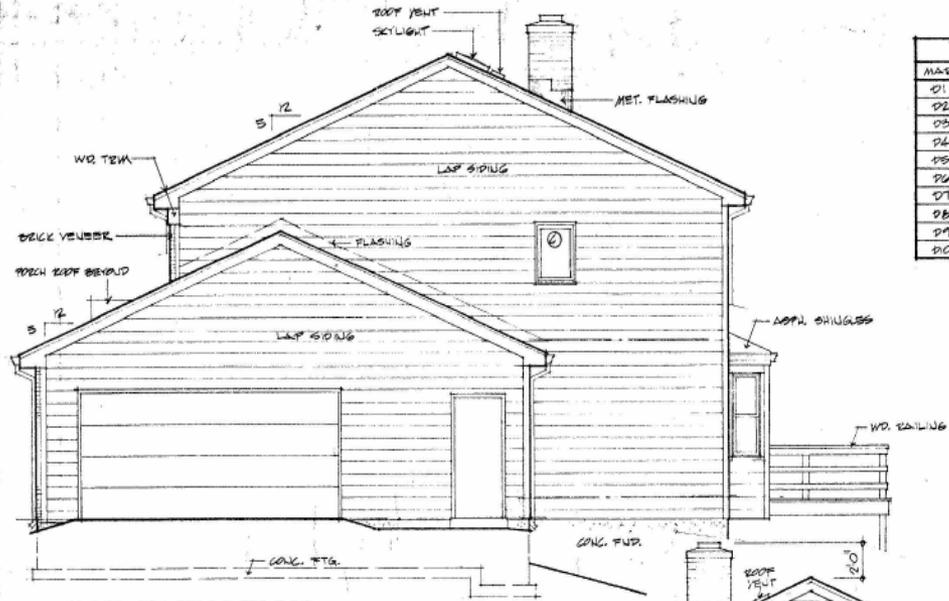


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WEST ELEVATION

1/4" = 1'-0"

LIGHT + VENTILATION SCHEDULE						
WINDOW	SIZE	ROOM	AREA (SQ. FT.)	REQ'D	ACTUAL	VENTILATION
D	36" x 24"	LIVING ROOM	118.5	10.5	22.0	5.2
D	36" x 24"	DINING ROOM	124.4	10.5	22.0	5.2
A	36" x 24"	FAMILY ROOM	211.0	23.6	44.6	12.0
B	36" x 24"					24.5
G	24" x 24"	KITCHEN	184.5	19.2	32.5	7.6
H	24" x 24"	BREAKFAST	62.0	14.5	10.7	5.3
F	24" x 24"	1/2 BATH	22.5	3.0	5.0	4.0
A	36" x 24"	MASTER BEDROOM	311.5	24.1	31.7	12.3
F	36" x 24"	BEDROOM				25.65
D	36" x 24"	BEDROOM #2	120.5	10.2	22.0	5.2
SKYLIGHT	24" x 24"	BATH #1	62.5	2.0	4.0	41.5 CFM
C	24" x 24"	BATH #2	52.5	2.0	5.5	2.6
B	36" x 24"	BEDROOM LT	300.0	40.0	34.9	22.0
D	36" x 24"	BEDROOM #2	121.0	10.2	22.0	11.0



EAST ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE		
MATERIAL	SIZE	TYPE
D1	36" x 68"	MET. ENTRY
D2	36" x 68"	PANELED WOOD
D3	36" x 68"	PANELED WOOD
D4	40" x 68"	PANELED WOOD
D5	24" x 68"	PANELED WOOD
D6	36" x 68"	1/2" SOLID WOOD W.P.
D7	12" x 68"	PANELED WOOD
D8	72" x 68"	PANELED MET. GARAGE
D9	36" x 68"	WOOD EXTERIOR FLASH
D0	36" x 68"	WOOD EXTERIOR FLASH

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OF 7



R319 Site Address



- ✓ Contrast with background.
- ✓ Arabic numbers or alphabetical letters.
- ✓ Numbers shall not be spelled out.
- ✓ Not less than 4 inches in height with a stroke not less than 0.5 inch.
- ✓ Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.
- ✓ Address identification shall be maintained.

R322

Flood Resistant Construction

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Flood Insurance

Floodplain Ordinances & Permit Forms

Flood Information for

Featured links

Maine Floodplain Management Program

Mapping Resources

Floodplain Maps Online

- [Accessing Preliminary Pending and Effective Flood Insurance Rate Maps on the FEMA Map Service Center and Maine Flood Hazard Map \(PDF 0.5MB\)](#)
- View the [Maine Flood Hazard Map](#) application. This interactive web map contains the following flood hazard layers:
 - National Flood Hazard Layers (NFHL): This layer contains the most current digital FIRM maps accepted and approved by FEMA.
 - Q3 Flood Maps: This is a layer of digitized flood zones from the old, approximate data. It should be used with confirmation from the official, printed FIRM maps.
- The [FEMA Map Service Center](#) is an excellent source of information for most of your mapping needs. The home page has a helpful index of commonly requested services and some specific links are provided below.
 - [Effective Date](#) for Floodplain Maps (alphabetical listing)
 - Online access to [Maine Floodplain Maps](#)
 - [Check for changes](#) to floodplain maps
 - [Flood Insurance Rate Studies \(FIS\)](#) provide the basis for establishing floodplains. The FIS has several sections but most importantly it details:
 - The study area
 - Engineering methods used to determine base flood elevations
 - Exhibits showing flood profiles
 - Tables showing floodway data, summary of discharges and still water elevations, etc.

Flood Insurance Rate Map (FIRM) Floodplain Map Updating through [Risk MAP](#)

[Coastal Map Updates for Local Officials \(PDF 9.0MB\)](#)
[Glossary of FEMA Map Update Acronyms \(PDF 0.1MB\)](#)
[Flood zone terminology \(PDF 0.1MB\)](#)
[Map Updates Timeline \(PDF 0.3MB\)](#)
[Maine Coastal Map Updates - Insurance Impact Comparison Brief \(PDF 0.6MB\)](#)

Map Update Public Meeting Notices:

Description	Where	When
Washington County Public Open House	Washington County Emergency Management Agency 28 Center St., Machias	May 8, 2017 4:00pm-7:00pm May 9, 2017 9:00am-12:00 pm

Flood Insurance Rate Map (FIRM) Floodplain Map Updating through Cooperating Technical Partners (CTP)

- Lower Penobscot Project

FEATURED LINKS

[Best Available Data for A Zone Areas Ordinances](#)
[Maine Floodplain Management Handbook](#)
[Inter-Agency Reviews](#)
[Disaster Assistance](#)

CONTACTS

To contact the FEMA Region I office in Boston,
 please call (617)832-4761 or write:
 FEMA Region I
 Federal Insurance and Mitigation Division
 99 High Street 6th Floor
 Boston, MA 02110-2132

Maine Floodplain Management Program
 Department of Agriculture, Conservation and Forestry
 93 SHS/Williams Pavilion
 17 Elkins Lane
 Augusta, Maine 04333-0093

[Sue Baker](#), CFM
 Program Coordinator
 207-287-8063

[Janet Parker](#)
 Planner II
 207-287-9981

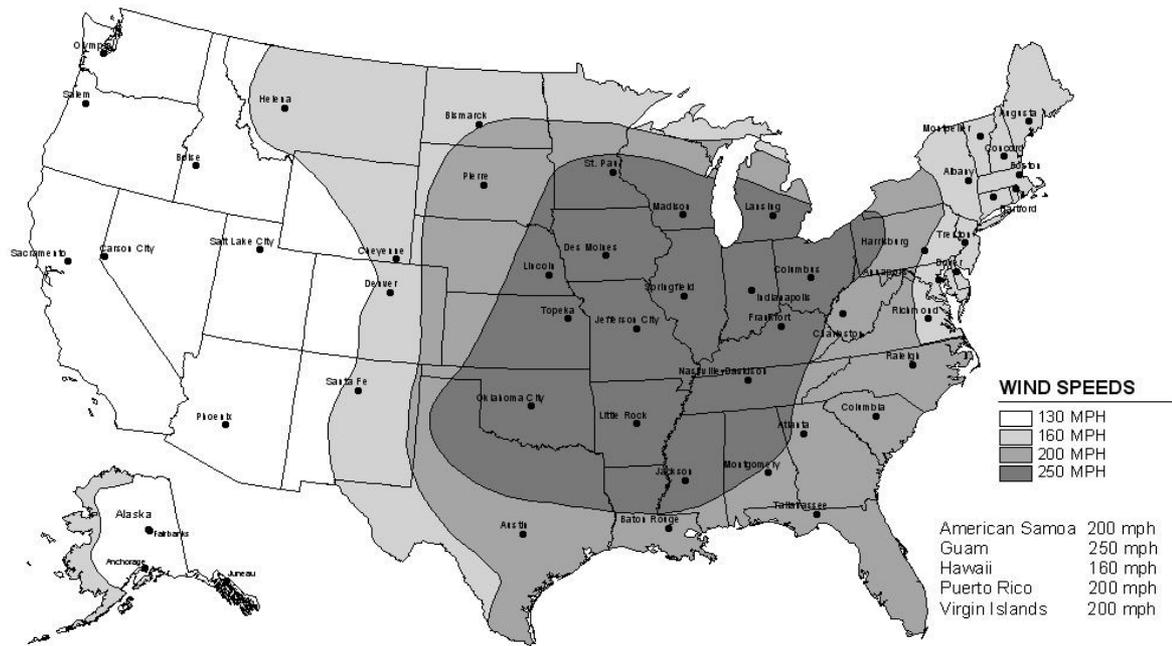


R323

Storm Shelters



ICC 500 Shelter Design Wind Speed Map



Notes:

1. Values are nominal three-second gust wind speeds in miles per hour at 33 feet above ground for Exposure Category C.
2. Multiply miles per hour by 0.447 to obtain meters per second.

R324

Solar Energy Systems

- 324.2 Solar thermal systems- refer to 2015 International Fire Code Chapter 23
- 324.3 Photovoltaic systems
 - NFPA 70
 - UL 1703 $\leq 1,000$ volts



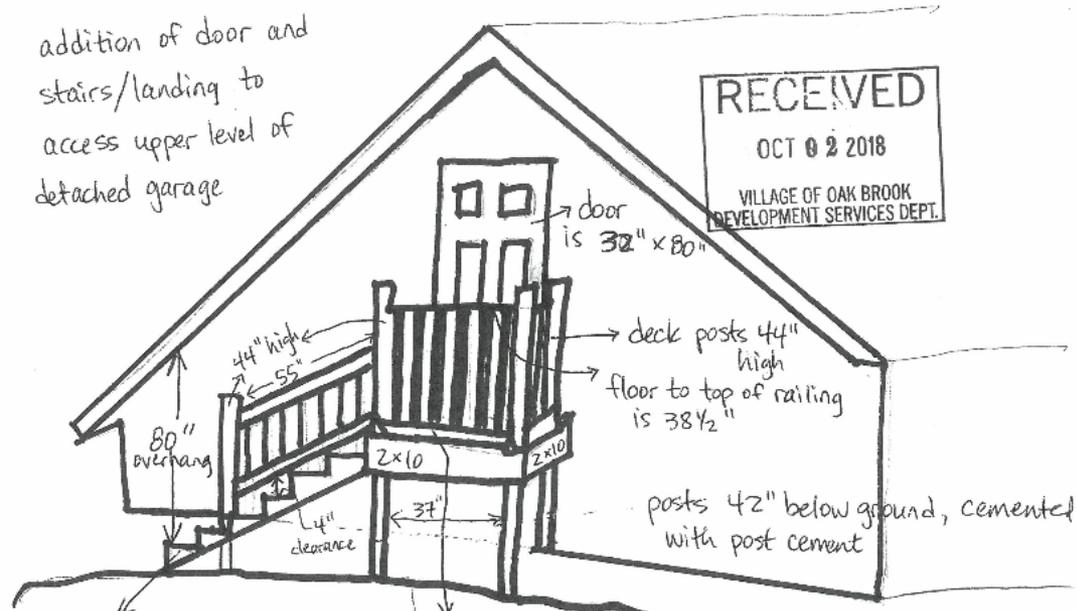
R324

Solar Energy Systems

- R324.3 Photovoltaic systems
 - R324.4 Rooftop-mounted systems- R909
 - R324.5 Building-integrated systems- R905
 - R324.6 Ground mounted systems- R301(structural)
 - R324.6.1 Fire separation distances- *local*



addition of door and stairs/landing to access upper level of detached garage



RECEIVED
OCT 02 2018
VILLAGE OF OAK BROOK
DEVELOPMENT SERVICES DEPT.

- each step is 45" wide x 11 1/4" deep
- each riser is 7" tall
- 6 steps total
- 4" clearance to floor from bottom of rail
- floor of landing to ground is 42"
- each balluster is 4" apart
- landing is 48" x 45 1/2" (2x10s)
- landing is 51 1/4" x 47 1/4" with hang-over included

INSIDE GARAGE

- upper level joists are 2x8 on 16" centers.
- flooring will be 4x8 3/4" plywood
- intention is for storage of tools, Christmas tree, other lightweight objects
- electricity was installed at time of construction

PERMIT # 18-2-892

APPROVED _____ DATE _____

Subject to Compliance With All Local Codes and Ordinances
VILLAGE OF OAK BROOK
1000 OAK BROOK ROAD
830/380-5101
MONDAY THRU FRIDAY 8 A.M. - 4:30 P.M.
24 HOUR ADVANCE NOTICE FOR INSPECTIONS

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