

TOWN OF TOPSHAM
DECK
PERMIT APPLICATION

Date: _____

Site Address: _____

Property Use: _____

Type of Work

Length: _____ Width: _____ Deck Height Above Ground: _____

- The Deck Is Attached To The Building
- The Deck Is Self Supporting (Not attached to a building)

Property Owner: _____

Property Owner Mailing Address: _____ Phone Number: _____

Applicant: _____

Applicant Mailing Address: _____ Phone Number: _____

Setbacks of New Construction: Front(s) _____ ft; Side(s) _____ ft; Rear _____ ft; **or** See Attached Site Plan _____

PROJECT DESCRIPTION (ALSO INCLUDE REQUIRED ITEMS PER THE "PLAN REVIEW CHECKLIST")

I HERBY CERTIFY THAT: THE INFORMATION IN THIS APPLICATION IS COMPLETE AND CORRECT AND I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND LAWS APPLICABLE TO THIS PROJECT; I AM OR LEGALLY REPRESENT THE OWNER OF THE SUBJECT PROPERTY FOR THE PURPOSE OF OBTAINING THIS PERMIT; I HAVE READ AND UNDERSTAND THE ATTACHED HANDOUT "Building Permit Standard Conditions"

Applicant Signature: _____ **Printed Name:** _____

FOR OFFICE USE ONLY

PERMIT #: _____

Map: _____ Lot: _____

Zone _____

Fee Calculation: _____ FEE: _____

APPROVED / DISAPPROVED; CEO SIGNATURE: _____ DATE: _____

- This project is exempt from Building Permit requirements in accordance with either/or Title 10 chapter 1103, 2015 IRC R105.2, 2015 IBC 105.2 and is issued for Local Zoning compliance verification only
- This project is exempt from Certificate of Occupancy requirements in accordance with either/or Title 10 chapter 1103, 2015 IRC R110.1, 2015 IBC 111.1

Permit Conditions / Comments:

Plan Review Checklist

So we may assist in determining compliance with codes, please include a plan containing the following:

- North arrow
- Distance to deck measured perpendicular to property lines
- Location of septic field, tank and well if applicable
- Street names
- Attachment to house detail; fasteners, ledger, tension ties, etc.
- Foundation detail; type, depth, etc. Indicate required bearing area subject to deck weight and soil type
- Beams; direction, span, construction and size
- Floor Joists; direction, span and size, spacing
- Indicate height of deck above grade
- Stairs showing the direction of travel, rise/run, width and handrail location
- Decking; type and size
- Show guard height and construction details

The building code in Topsham is the Maine Uniform Building and Energy Code (MUBEC). Information regarding the MUBEC code may be found at the Bureau of Building Codes & Standards website <http://www.maine.gov/dps/bbcs/>

The space below can be used to show Site Plan and Construction Information, please attach additional plans as needed:

Building Permit Standard Conditions

The permit to which this is attached is the building permit. Separate permits are required for plumbing, heating and electrical work. Building permits are subject to appeal for a period of 30 days from issuance. A building permit expires if there is no substantial start on the project within a period of 6 months. All work must meet applicable codes and ordinances. The building code in Topsham is the Maine Uniform Building and Energy Code (MUBEC). Information regarding the MUBEC code as well as free viewing of the applicable ICC codes may be found at the Bureau of Building Codes & Standards website <http://www.maine.gov/dps/bbcs/>

We ascertain the code compliance of your project to the best of our ability with the data provided by you. Many building code related topics are posted on our web site, www.topshammaine.com . Follow tabs; Town Departments – Code Enforcement – Building Code Information. Code requirements supersede information submitted or omitted on a permit application. Please take a look at any topics applicable to your project and if you have any questions, please ask.

Inspections; at a minimum we will need to inspect the foundation prior to pour and before it is backfilled; framing, rough electrical and plumbing before insulation or sheetrock; air sealing and insulation per energy code requirements before they are covered; fire rated construction if applicable; any special inspections noted; the final building before it is occupied and any other inspections noted on the permit.

Setbacks; you are responsible for knowing where your applicable property lines are and for meeting the zoning requirements as to setbacks and similar criteria. We will assist you as best as we can in meeting the various criteria, but the burden of compliance is on you. Setbacks are measured from the property line to the nearest point on the structure (this is often not the wall). The edge of the road or sidewalk is usually not the property line, the Town usually owns beyond these features. If you are not sure where your property lines are, we recommend that you have the land surveyed by a licensed surveyor.

Deed and/or Other Restrictions; there may be restrictions in your deed or on your lot such as easements, covenants, prior approvals, etc. that could affect your project. You are responsible for making sure your project meets any restriction. There can be legal issues with the properties that can affect the feasibility of a project that are not readily apparent, if you have issues/questions about deed or lot restrictions, we recommend you consult an attorney.

Utilities; there may be features that affect your project such as public or private sewer lines, water lines, power lines, phone lines, etc. that can affect the code compliance of your project. The burden of ascertaining the existence of and making us aware of these is yours. The Codes Officer can help you with the code aspects of these. Call DIG SAFE at 1-800-DIG-SAFE (1-800-344-7233) prior to excavating, they will assist you in locating buried features on your site and it's the law!

Engineering; if you use trusses, engineered lumber, steel, etc., we will need written certification from a licensed architect or engineer that the product is suitable for the intended use. Many of these products have been pre-engineered and the suppliers of these products can usually supply engineered installation standards upon request.

Carbon Monoxide and Smoke Detectors; If your project is for work in a new or existing single family home, two family home or townhouse, carbon monoxide and smoke detectors must be installed per code requirements. Please ask if you have questions.

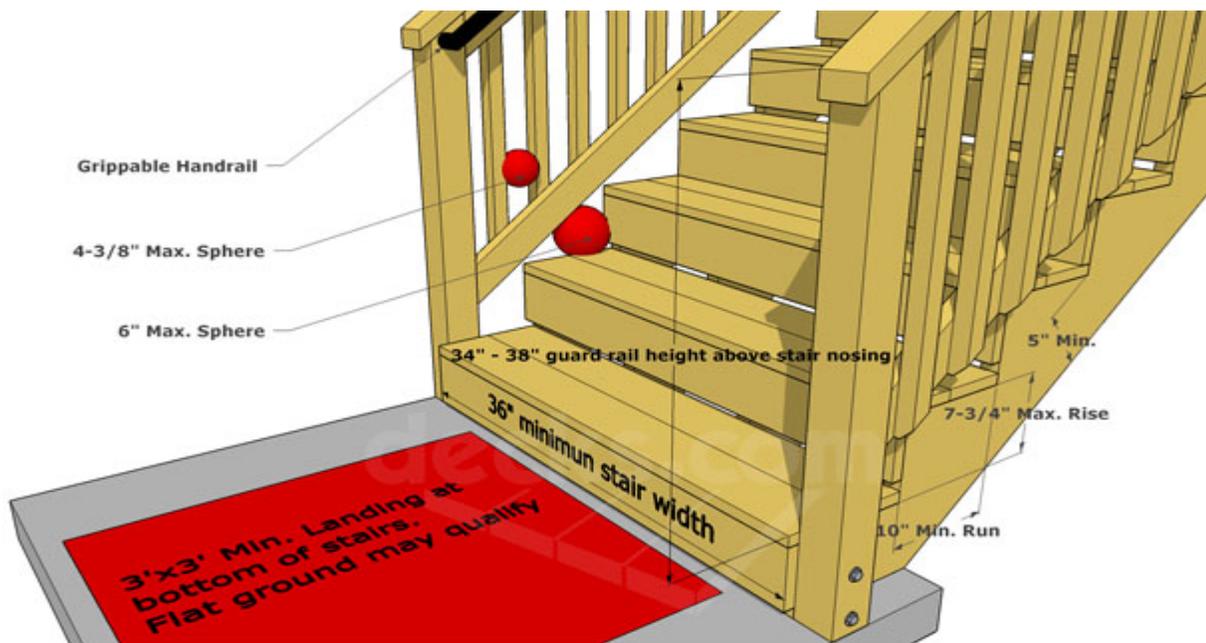
Deck Stair Code Information from the IRC 2015

See 2015 Tip Sheet 5 Basic Decks and the following:

R311.7 Stairways: The minimum width for stairs is 36". The maximum riser height is 7-3/4" and the minimum rise is 4". The minimum stair tread depth measured from nosing to nosing (also the stringer rough cut) is no less than 10". The tread width and riser height shall not exceed the smallest by more than 3/8". This means you will have to plan ahead to make sure each and every one of your stairs measurements are the same.

R311.7.8 Handrails: Stairs with 4 or more risers must have a **handrail** located above all portions of the treads, between 34" and 38" above the tread nosing, continuous between floors, with ends terminating at wall or newel post so as not to snag clothing. Circular handrails must be between 1.25" and 2" in diameter. Other shapes with a perimeter dimension between 4" and 6.25" with no cross sectional dimension greater than 2 1/4" are acceptable. Rails with a perimeter greater than 6.25" must have a finger grip routed in both sides. Handrails must extend from the top to bottom riser. *Note: A 2x4 does not meet handrail cross section requirements.*

R312 Guards on Stairs: Open sides of stairs with over 30" rise above the adjacent floor or ground must have a **guardrail** at least 34" high measured vertically from a line connecting the leading edge of the stair treads. Required guards shall have balusters or other members arranged so that a 4 3/8" sphere cannot pass through them, except that the triangular opening formed by the guard, tread, and riser can be such that a 6" sphere cannot pass through it. Open risers are permitted by code with a catch because they may not be large enough to permit the passage of a 4" sphere.



R312 Guards on Decks: Decks with over 30" rise above the adjacent floor or ground must have a **guardrail** at least 36" high measured vertically above the deck or fixed seating. Openings shall not allow passage of a sphere 4" in diameter